



City of Deltona

Mayor
John Masiarczyk

Vice Mayor
Chris Nabicht
District 6

Commissioners:

Mitch Honaker
District 1

Diane Smith
District 2

Heidi Herzberg
District 3

Nancy Schleicher
District 4

Brian Soukup
District 5

City Manager
Jane K. Shang

PUBLIC NOTICE

**CITY OF DELTONA
2345 Providence Blvd.
Deltona, FL 32725**

**City Manager Agenda Review Meeting
2nd Floor Conference Room
Monday, February 15, 2016
5:30 P.M.**

NOTE: If any person decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting or hearing, he/she will need a record of the proceedings, and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk, Joyce Raftery 48 hours in advance of the meeting date and time at (386) 878-8500.



City of Deltona

2345 Providence Blvd.
Deltona, FL 32725

Regular Commission Meeting

City Commission

Mayor John C. Masiarczyk Sr.
Vice Mayor Chris Nabicht
Commissioner Heidi Herzberg
Commissioner Gary Mitch Honaker
Commissioner Nancy Schleicher
Commissioner Diane J. Smith
Commissioner Brian Soukup

Monday, February 15, 2016

6:30 PM

Deltona Commission Chambers

1. CALL TO ORDER:

2. ROLL CALL – CITY CLERK:

3. INVOCATION AND PLEDGE TO THE FLAG:

A. Invocation Presented by Commissioner Soukup

Background:

At the Regular City Commission Meeting on Monday, October 17, 2011, the City Commission approved to have each Commissioner by District schedule someone to present the invocation at each Regular City Commission meeting rotating each Commissioner by District starting with District #1, #2, #3, #4, #5, #6 and the Mayor

4. APPROVAL OF MINUTES & AGENDA:

A. Approval of minutes - Regular Commission Meeting of February 1, 2016 - Joyce Raftery, City Clerk (386) 878-8502.

Background:

N/A

5. PRESENTATIONS/AWARDS/REPORTS:

6. CITY COMMISSION SPECIAL REPORTS:

7. PUBLIC FORUM: - Citizen comments limited to items not on the agenda and comments on items listed on the agenda will take place after discussion of each item.

Citizen comments for any items. (4 minute maximum length per speaker)

CONSENT AGENDA: All items marked with an * will be considered by one motion unless removed from the Consent Agenda by a member of the City Commission. If an item is removed for clarification only, it will be discussed immediately following action on the Consent Agenda. If an item is removed for further discussion, it will be discussed under New Business immediately following the last listed item.

8. CONSENT AGENDA:

9. ORDINANCES AND PUBLIC HEARINGS:

- A.** Public Hearing - Ordinance No. 01-2016, Amending Section 50-3 and 50-28 of the Solid Waste Regulations, at second and final reading - Dale Baker, Deputy City Manager (386) 878-8852.

Strategic Goal: Public Safety, strengthen code enforcement and focus on the city's beautification program.

Background:

Staff has determined that there is a need to revise Chapter 50, "Solid Waste" of the City's Code of Ordinances in order to move forward with part of our strategic plan to strengthen code enforcement and center our efforts on our beautification program.

At the Commission Meeting held on January 4, 2016 the Commission voted 6 to 1 to approve Ordinance No. 01-2016, to revise Chapter 50, Solid Waste, Sections 50-3 and 50-28 with changes. At a workshop on January 25, 2016 the Commission discussed the changes and decided to move forward with staff's recommendations.

These recommendations will make it easier for citizens to understand and improve the looks of our city. The biggest changes are:

- Garbage must be placed in either the contract provided container or an equivalent customer provided container (no trash bags and no 32-gallon personal containers);
- Acceptable quantities doubled (up to two (2) 96-gallon residential containers);
- Prior notice and scheduling of bulk trash/junk will be required before placing the item(s) out for pickup (acceptable quantities are also better defined); and
- Acceptable levels of yard trash have doubled (from four (4) 32-gallon containers or eight (8) garbage bags to sixteen (16) garbage bags/piles).

Amnesty of the quantity limitations will be allowed during the week following Christmas and New Year's Day and any other amnesty day(s) determined by the City of Deltona. Upon approval, an educational/outreach program will be implemented with enforcement to begin on June 1, 2016.

- B.** Public Hearing - Ordinance No. 02-2016, Request to Amend the Deltona Welcome Center Business Planned Unit Development (BPUD) to a New BPUD for Lots 2 and 3, at first reading - Chris Bowley, Planning and Development Services, (386) 878-8602.

Strategic Goal: Economic Development: Work with existing businesses to expand/grow.

Background:

The Business Planned Unit Development (BPUD) request is for the development of a Racetrac gas station with a ±6,000 square foot convenience store and multiple fueling bays. The proposed amendment is to update the Development Agreement (DA) and to create a new BPUD for Lots 2 and 3. The DA has been reviewed by staff and is presented in an underline/strike-through format that addresses land use, access management, transportation, development intensity, and aesthetics. For more information, see the attached staff report including the proposed DA with recommended changes. Finally, on January 20, 2016, the Planning and Zoning Board heard the rezoning request and recommended that the City Commission adopt Ordinance No. 02-2016 BPUD.

- C.** Public Hearing - Ordinance No. 10-2016, Amending Sections 14-281 through 14-285 of the Animal Ordinance, at first reading and to schedule second and final reading - Dale Baker, Deputy City Manager (386) 878-8852.

Strategic Goal: Public Safety, strengthen code enforcement.

Background:

On March 16, 2015 the City Commission adopted Ordinance No. 02-2015 which authorized a one-year trial program for backyard chickens.

As part of the program the City Manager was to report the results of the trial program to the Commission. The City has received twelve (12) complaints over the past twelve (12) months about chickens. The complaints were for keeping chickens without a permit or having roosters.

We have not received any complaints on the twenty five (25) properties that have permits for keeping chickens.

Staff believes the trial program was a success and recommends keeping the program.

- D.** Public Hearing - Resolution No. 2016-07, Request to Vacate Land Associated with the Davis Park Sixth Addition Subdivision. - Chris Bowley, Planning and Development

Services, (386) 878-8602.

Strategic Goal: Economic Development; Focus on Howland Blvd. as the Gateway for Commercial Growth.

Background:

The City of Deltona has received an application to vacate the following legally described area: Lots 1 through 23, Block 1 and Lots 1 through 23 Block 10, Davis Park Sixth Addition, MB 7 Page 25 and vacate that part of Illinois Ave. a 60' right-of-way located south of Lot 23 Block 1 Davis Park, Sixth Addition MB 7 Page 25 and north of Lot 1, Block 10, Davis Park, Sixth Addition, MB 7 Page 25. The area is currently public right-of-way/land between unified ownership lots and the proposed vacation will make for a contiguous tract. See the attached staff report for a graphic depiction of the area.

- E. Request to authorize the City Manager to expend up to \$2,150,000 on various planned transportation projects (road resurfacing, sidewalks, Tivoli, E. Normandy) and to use Transportation Fund reserves until bond proceeds are received and to approve Resolution No. 2016-11 to establish the budget to allow the City to continue to move forward with the Transportation CIP Program - Robert Clinger, Finance Department (386) 878-8552

Strategic Goal: Infrastructure - Implement Phase I of the Transportation CIP program.

Background:

At the Commission Workshop held on November 23, 2015, the City Commission expressed the desire to move forward with planning, financing and construction of several road projects to include sidewalks, road resurfacing, and widening, etc.

In an effort to expedite work on these projects this agenda item authorizes the City Manager to use Transportation Fund reserves until bond proceeds are received and amends the City's FY 2015/2016 Budget to allow the necessary expenditure of funds.

- F. Request for approval of Resolution No. 2016-05, Expressing Support for an Innovative Traffic Signal Technologies Pilot Project - Becky Vose, Legal Department, (407) 448-0111.

Background:

The City of Deltona's continued growth and prosperity depends on a transportation system that can safely and efficiently move an ever greater volume of people and goods. A new federal transportation bill is being drafted by Congress to replace MAP-21 and it is expected to include funding for one or more pilot projects to accelerate the deployment of innovative traffic signal technologies.

In anticipation of this new federal funding opportunity, it is in the best interests of the City of Deltona to join with neighboring governmental entities to prepare for submitting a region-wide grant application for an innovative traffic signal technology pilot program.

Congressman Mica has called this opportunity to our attention and has offered to lend his support with obtaining federal discretionary funds to conduct one or more pilot projects using innovative traffic signal technologies.

This resolution expresses Deltona's support for an Intelligent Transportation System (ITS) Master Plan.

10. OLD BUSINESS:

11. NEW BUSINESS:

- A. Consideration of request from JP Morgan Chase Bank for a reduction of fine from \$8,400.00 assessed pursuant to Special Magistrate Case DEL-15-138. - Dale Baker, Deputy City Manager (386) 878-8852.

Strategic Goal: Public Safety, strengthen code enforcement.

Background:

An order imposing fine/lien was entered on September 24, 2015, by the City of Deltona Special Magistrate, ordering JP Morgan Chase Bank to pay to the City of Deltona a fine in the amount of one hundred dollars (\$100.00) per day beginning September 23, 2015, for each and every day the violation exists and continues to exist or until a cap of \$20,000.00 is reached. The violation occurred when the respondent failed to replace or repair exterior walls of holes and rotten wood at the home located at 2790 Thornberry Court. The total accumulated amount due is \$8,400.00. On January 27, 2016 Ryan Waters, Esq. representing JP Morgan Chase Bank appeared before the Special Magistrate to request a recommendation to reduce the fine.

The Special Magistrate made a recommendation to reduce the fine to \$4,200.00.

- B. Consideration of Commissioner Honaker's appointment to the Planning and Zoning Board for the remainder of a term to expire on March 15, 2016 - Joyce Raftery, City Clerk (386) 878-8502.

Strategic Goal: Internal and external communication.

Background:

Mr. Victor Ramos, Commissioner Honaker's appointment, resigned from the Planning and Zoning Board on January 29, 2016. Per Article XII. Planning and Zoning Board, Sec. 110-1200. Creation (b), "The vacancy shall be filled within 30 days from the time it occurs." The appointment will serve for the remainder of a term to expire on March 15, 2016.

The City has run press releases, posted the opening on D-TV, the City's web page and bulletin boards. To date the City has received applications from the following individuals: Kimberlee Bailes, Cheryl Blancett, Derrick Boissette, Charles Davidson, James E. Diehl, Michael Putkowski, Justin Starkey and Frank Whittock.

In addition, the following two (2) applicants, Cheryl Blancett and Charles Davidson, have applied to be appointed to Deltona Economic Development Advisory Board which is also on this agenda for February 15th.

- C.** Consideration of Commissioner Soukup's appointment and the Commission's appointment of one (1) alternate member to the Economic Development Advisory Board - Joyce Raftery, City Clerk (386) 878-8502.

Strategic Goal: Internal and external communication.

Background:

Mr. Braddy, Commissioner Soukup's appointment, resigned from the Deltona Economic Development Advisory Board (DEDAB) on December 16, 2015. Commissioner Soukup will need to appoint a member for the remainder of Mr. Braddy's term to expire on May 31, 2017.

Mr. Moscarella was dismissed by DEDAB for having three (3) unexcused consecutive absences. The Commission will need to appoint an alternate member, per the Regular Commission Meeting held on May 4, 2015 where the Board/Committee By-Laws were revised to include alternate members, for the remainder of Mr. Moscarella's term to expire on May 31, 2017.

Also, the current alternate member, Christine Peacock, has expressed she would like to be appointed as a DEDAB member instead of being just an alternate member. If Ms. Peacock is appointed, the Commission would then need to appoint two (2) alternate members instead of one (1).

The City has run press releases, posted the openings on D-TV, the City's web page and on bulletin boards. To date the City has received applications from the following individuals: Charles Davidson, Cheryl Blancett and Victor Ramos.

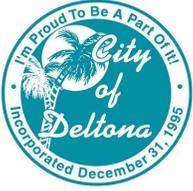
In addition, the following two (2) applicants, Cheryl Blancett and Charles Davidson, have applied to be appointed to Planning and Zoning Board which is also on this agenda for February 15th.

Ms. Blancett would only like to be considered for the member position; she would not like to be considered for the alternate member position.

12. CITY ATTORNEY COMMENTS:**13. CITY MANAGER COMMENTS:****14. CITY COMMISSION COMMENTS:****15. ADJOURNMENT:**

NOTE: If any person decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting or hearing, he/she will need a record of the proceedings, and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk, Joyce Raftery 48 hours in advance of the meeting date and time at (386) 878-8500.



Agenda Memo

AGENDA ITEM:A.

TO: Mayor and Commission

AGENDA DATE: 2/15/2016

FROM: Jane K. Shang, City Manager

AGENDA ITEM: 3 - A

SUBJECT:

Invocation Presented by Commissioner Soukup

LOCATION:

N/A

BACKGROUND:

At the Regular City Commission Meeting on Monday, October 17, 2011, the City Commission approved to have each Commissioner by District schedule someone to present the invocation at each Regular City Commission meeting rotating each Commissioner by District starting with District #1, #2, #3, #4, #5, #6 and the Mayor

COST:

N/A

SOURCE OF FUNDS:

N/A

ORIGINATING DEPARTMENT:

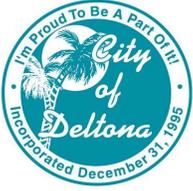
City Manager's Office

STAFF RECOMMENDATION PRESENTED BY:

N/A - Invocation Only

POTENTIAL MOTION:

N/A - Invocation Only



Agenda Memo

AGENDA ITEM:A.

TO: Mayor and Commission

AGENDA DATE: 2/15/2016

FROM: Jane K. Shang, City Manager

AGENDA ITEM: 4 - A

SUBJECT:

Approval of minutes - Regular Commission Meeting of February 1, 2016 - Joyce Raftery, City Clerk (386) 878-8502.

LOCATION:

N/A

BACKGROUND:

N/A

COST:

N/A

SOURCE OF FUNDS:

N/A

ORIGINATING DEPARTMENT:

City Clerk's Office

STAFF RECOMMENDATION PRESENTED BY:

City Clerk Joyce Raftery - That the Commission approve the minutes of the Regular Commission Meeting of February 1, 2016.

POTENTIAL MOTION:

"I move to approve the minutes of the Regular Commission Meeting of February 1, 2016, as presented."



City of Deltona

2345 Providence Blvd.
Deltona, FL 32725

Minutes

City Commission

Monday, February 1, 2016

6:30 PM

Deltona Commission Chambers

1. CALL TO ORDER:

The meeting was called to order at 6:30 p.m. by Mayor Masiarczyk.

2. ROLL CALL – CITY CLERK:

Present: 9 - Commissioner Herzberg
Commissioner Honaker
Commissioner Schleicher
Commissioner Smith
Commissioner Soukup
Vice Mayor Nabicht
Mayor Masiarczyk
City Manager Shang
City Attorney Vose

3. INVOCATION AND PLEDGE TO THE FLAG:

A. Invocation presented by Commissioner Schleicher - Reverend Caroline Shine, Greater Faith AME Church, Deltona

Invocation was presented by Commissioner Schleicher - Reverend Caroline Shine with Greater Faith AME Church, Deltona.

The National Anthem was sung by Kasia Soto a 9th Grader at Deltona High.

4. APPROVAL OF MINUTES & AGENDA:

A. Approval of minutes - Regular Commission Meeting of January 19, 2016 - Joyce Raftery, City Clerk (386) 878-8502.

Motion by Commissioner Herzberg, seconded by Commissioner Schleicher, to approve the minutes of the Regular Commission Meeting of January 19, 2016, as presented. The motion carried by the following vote:

For: 7 - Commissioner Herzberg, Commissioner Honaker, Commissioner Schleicher, Commissioner Smith, Commissioner Soukup, Vice Mayor Nabicht, and Mayor Masiarczyk

5. PRESENTATIONS/AWARDS/REPORTS:

A. Recognition to Pop Warner Lil Scholars West Volusia Wolves Pee Wee Cheer Team

Mayor Masiarczyk and the Commission presented Certificates of Recognition to the Pop Warner Lil Scholars West Volusia Wolves Pee Wee Cheer Team for an impressive season in 2015 while maintaining a GPA of 3.0 or higher.

B. Recognition to Pop Warner Lil Scholars West Volusia Wolves Pee Wee Football Team

Mayor Masiarczyk and the Commission presented Certificates of Recognition to the Pop Warner Lil Scholars West Volusia Wolves Pee Wee Football Team for an impressive season in 2015 while maintaining a 3.0 GPA or higher.

D. Super Star Student of the Month Certificates for January 2016

Mayor Masiarczyk and the Commission presented Certificates of Recognition to the Super Star Students of the month for January, 2016.

Mayor Masiarczyk called for a recess at 6:57 p.m. and reconvened at 6:59 p.m.

C. Presentation - Quarterly Reports of City Advisory Boards/Committees - Joyce Raftery, City Clerk (386) 878-8502.

Mayor Masiarczyk stated that all the Quarterly Board Reports are provided in written format.

6. CITY COMMISSION SPECIAL REPORTS:

Vice Mayor Nabicht stated he was honored by School Superintendent Mr. Russell who asked him to participate in the Pine Ridge High School's Advisory Board for their Health Academy. It is amazing to see what the school is doing with Fish Hospital and the local medical providers in the community. The school also has a program for those students looking to get into the Veterinarian field through Future Farmers of America (FFA).

Mayor Masiarczyk stated on Saturday in the City Hall courtyard there was a Day of Prayer with 40-50 people who were in attendance and Paula Yorker was in charge of the event. He stated that everyone that attended was allowed to pray on whatever subject they wanted to bring up and that they prayed for just about everything in the community.

Mayor Masiarczyk stated Nick Pizza who provides the students who sing the National

Anthem is also very involved in the Deltona Against Bullying program which has branched out and that Mr. Pizza will be putting on another big event this year to raise money for the program and his goal is to have the program in every school in Volusia County. He stated the event will take place at Dewey O. Boster Park on September 10, 2016 and he thanked everyone for supporting the program.

Commissioner Herzberg stated on Wednesday morning she attended Team Volusia's annual meeting along with Economic Development Manager Jerry Mayes and there was discussion about partnering and working together and increasing diversity. She stated on Thursday she attended the first Volusia League of Cities (VLOC) dinner of the year which had approximately 120 attendees and that State Representative Kristin Jacobs was the guest speaker and spoke about the compact initiative and how it works.

7. PUBLIC FORUM: - Citizen comments limited to items not on the agenda and comments on items listed on the agenda will take place after discussion of each item.

a) Jim Pescha, 1120 N. Old Mill Drive, Deltona, was called to speak and he spoke about backyard chickens, the pilot program coming to an end and there being no complaints or issues reported. He requested that the program be placed on an agenda, to make the program permanent by not restricting the number of permits issued and to remove the annual inspection requirement.

Both Vice Mayor Nabicht and Commissioner Schleicher expressed their support to make the program permanent and they thanked Mr. Pescha for his diligence.

Mayor Masiarczyk asked the City Manager to place the item on an agenda.

CONSENT AGENDA: All items marked with an * will be considered by one motion unless removed from the Consent Agenda by a member of the City Commission. If an item is removed for clarification only, it will be discussed immediately following action on the Consent Agenda. If an item is removed for further discussion, it will be discussed under New Business immediately following the last listed item.

8. CONSENT AGENDA:

None.

9. ORDINANCES AND PUBLIC HEARINGS:

- A. Public Hearing - Ordinance No. 29-2015, Amending the Comprehensive Plan of the City of Deltona, by amending the Capital Improvements Element (CIE); providing for the replacement of the Capital Improvement Project sheets, at second and final reading. - Chris Bowley, Planning and Development Services, (386) 878-8602.**

Strategic Goal: Fiscal Issues; Transportation/CIP.

Mayor Masiarczyk opened and closed the public hearing as there were no public comments.

Motion by Vice Mayor Nabicht, seconded by Commissioner Honaker, to adopt Ordinance No. 29-2015, amending the Comprehensive Plan of the City of Deltona, by amending the Capital Improvements Element and providing for the replacement of the Capital Improvement Project sheets, at second and final reading.

City Attorney Vose read the title of Ordinance No. 29-2015.

AN ORDINANCE OF THE CITY OF DELTONA, FLORIDA, AMENDING THE COMPREHENSIVE PLAN OF THE CITY OF DELTONA, BY AMENDING THE CAPITAL IMPROVEMENTS ELEMENT PROVIDING FOR THE REPLACEMENT OF THE CAPITAL IMPROVEMENT PROJECT SHEETS; FINDING CONFORMITY WITH STATE STATUTES; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

The motion carried by the following vote:

For: 7 - Commissioner Herzberg, Commissioner Honaker, Commissioner Schleicher, Commissioner Smith, Commissioner Soukup, Vice Mayor Nabicht, and Mayor Masiarczyk

Ordinance No. 29-2015 was adopted at 7:16 p.m.

10. OLD BUSINESS:**A. Consideration of Mayor Masiarczyk's appointment to the Planning and Zoning Board - Joyce Raftery, City Clerk (386) 878-8502.****Strategic Goal: Internal and external communication.**

Mayor Masiarczyk stated he would like to appoint Donald Philpitt to the Planning & Zoning Board.

Motion by Commissioner Herzberg, seconded by Vice Mayor Nabicht, to confirm Mayor Masiarczyk's appointment for the remainder of a term to expire on March 15, 2016 to the Planning and Zoning Board. The motion carried by the following vote:

For: 7 - Commissioner Herzberg, Commissioner Honaker, Commissioner Schleicher, Commissioner Smith, Commissioner Soukup, Vice Mayor Nabicht, and Mayor Masiarczyk

11. NEW BUSINESS:

- A. **Request for approval of Resolution No. 2015-49, amending the City Commission Operating Guidelines and Meeting Rules and Procedures - Joyce Raftery, City Clerk (386) 878-8502**

Strategic Goal: Internal and external communication.

Mayor Masiarczyk opened and closed the public hearing as there were no public comments.

Motion by Commissioner Schleicher, seconded by Commissioner Honaker, to approve Resolution No. 2015-49 and the revised City Commission Operating Guidelines and Meeting Rules and Procedures, as presented.

Mayor Masiarczyk read the title of Resolution No. 2015-49.

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA; PROVIDING FOR THE AMENDMENT OF THE CITY COMMISSION'S OPERATING GUIDELINES AND MEETING RULES AND PROCEDURES; PROVIDING AN EFFECTIVE DATE.

The motion carried by the following vote:

For: 7 - Commissioner Herzberg, Commissioner Honaker, Commissioner Schleicher, Commissioner Smith, Commissioner Soukup, Vice Mayor Nabicht, and Mayor Masiarczyk

Resolution No. 2015-49 was adopted at 7:18 p.m.

12. CITY ATTORNEY COMMENTS:

None.

13. CITY MANAGER COMMENTS:

None.

14. CITY COMMISSION COMMENTS:

a) Commissioner Smith apologized for being unable to attend the Day of Prayer event because she was serving as a judge at Deltona High School for the Health Academy competition. She stated she received a call from Kelley Daly with West Volusia Youth Baseball and that Ms. Daly apologized for not being able to attend the meeting tonight, but she wanted to talk about the upcoming parade. She stated she knows there are policies in place, but she thinks there needs to be a conversation about the league's annual parade, this is about the kids, it is not a fundraising event, it is not a community

organization asking to waive fees, the organization has been in the community for 25 years, and the players are paying more to light the fields (\$5 more per player). The Commission always talks about having more events and if the Commission wants more events then they should back them. She suggested taking another look at the policy and she would hate to see the event cancelled, two (2) weeks before the event. She asked if staff contacted the groups using the fields and notified them that the VCSO's costs were changing or if they find out when they plan an event. Mr. Moore replied the organizations were involved with the changes to the policy and staff spoke with the City Manager who is looking into the situation. She stated there is another parade next month which will be the 50th parade for the Deltona Little League.

Commissioner Honaker agreed with Commissioner Smith's comments, but he stated the fees were set and if the Commission exempts one (1) organization then all the organizations will ask for an exemption.

Commissioner Soukup suggested comping the field usage to the organization.

Vice Mayor Nabicht suggested when the Volusia County Sheriff's Office (VCSO) contract comes up for renewal to add these types of events in the contract.

Commissioner Herzberg stated once the new Community Center is completed, she hopes there is a solidified payment set-up and that it is not as confusing. She stated she would like to see another type of fee structure and that includes concessions. She suggested placing the topic on a workshop because the City needs clear guidelines to include how to deal with the VCSO services.

Commissioner Smith asked if there is any funding in the City's event budget that can pay for the VCSO costs and Commissioner Herzberg suggested having the City Manager look into it.

b) Vice Mayor Nabicht stated most of the Lobbyist's direction in the past has come from the Commission, but staff is engaged in particular fields and belong to certain groups and organizations that make them aware of changing legislation. He stated staff needs to have the ability to bring those changes to the City Manager with their recommendation. He would like to see the City Manager have the latitude to bring those items to the Lobbyist and get more use out of the Lobbyist.

c) Commissioner Schleicher suggested that the Lobbyist keep an eye on the medical marijuana Bill and that the Commission take another look at the ordinance which was prepared by the City Attorney. She stated there has been a request to move the historical facility out of Deltona Economic Development Advisory Board's (DEDAB) realm and she would also like the Commission to engage in a discussion on how to get the original historical items that were in a historical building that is no longer there back into the City's hands. She stated the timing is perfect with Reverend Shine providing the invocation and it being the first day of Black History Month to highlight Bethune-Cookman University and she provided some history on the university.

d) Commissioner Honaker suggested changing the Code Enforcement Department and Code Enforcement Officers to Community Service Department and Community Services Officer. He stated demolition of a blighted property in his district is moving forward, he hopes to have some media coverage and that he will be taking the day off to see the demolition. He stated he will be on vacation next week and will be out of town until February 12th.

e) Commissioner Soukup stated he attended the Ethics Conference and next Thursday at Deltona High at 6:00 p.m. there is a Talent Show and he encouraged everyone to attend. He stated he received some information on the School Board District Cost Differential (DCD) and the amount of money that Volusia County is losing. He stated for every dollar that a citizen pays in taxes to the Volusia County School Board, they receive 97 cents of it, three (3) cents of that dollar is sent to other counties and since 2004 that adds up to \$126 million that has gone out of Volusia County to a different county. He stated he does not understand why everyone is not up in arms over this and he questioned whether there is something, as a Commission, that can be done to fight to keep the full \$1 of citizen's tax money in Volusia County.

Mayor Masiarczyk stated the School Board makes an issue about it every year which the Commission supports and that the Commission can support it through the Lobbyist and a letter of support. He stated the Parent-Teacher Association (PTA) is aware of the issue and provides the information to citizens. He suggested getting a mission statement from the School Board which the Commission can forward to the Lobbyist to support their position.

Commissioner Smith suggested after the Commission approves a letter of support, to also pass a resolution. She stated that several years ago the County Council put aside their legislative platform and supported the School Board trying to get the DCD to change which is an uphill battle, but at the same time Senator Hukill introduced legislation to repeal the DCD.

Commissioner Herzberg stated Senator Hukill and Representative Metz have corresponding Bills up this year. The City of DeLand made it part of its legislative action plan, formalized it and she thinks Deltona needs to do the same. She stated what the Commission needs to do either individually or as a unit, including other cities in the county, is to make the effort and contact Senator Hukill and Representative Metz that they are in support of the Bills. She stated she will talk with the VLOC about the issue, but it is important that State Legislators understand that the community is behind this especially in an election year with Deltona being a huge voting bloc.

Vice Mayor Nabicht asked if the VLOC has the ability to find out if other counties have the same issue and if so, to partner with those other counties and Commissioner Herzberg replied she thought Senator Hudson made mention of that as well.

Commissioner Schleicher stated she forgot to mention something that everyone was very excited about and that was the Bethune-Cookman University Wildcats Marching Band which performed in Deltona. She stated they are the best band in the State of

Florida, if not the Country and they were highlighted in the movie Drumline.

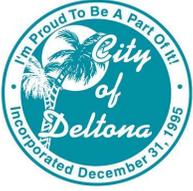
15. ADJOURNMENT:

There being no further business, the meeting adjourned at 7:44 p.m.

John Masiarczyk, Sr., MAYOR

ATTEST:

Joyce Rafferty, CMC, MMC, CITY CLERK



Agenda Memo

AGENDA ITEM:A.

TO: Mayor and Commission

AGENDA DATE: 2/15/2016

FROM: Jane K. Shang, City Manager

AGENDA ITEM: 9 - A

SUBJECT:

Public Hearing - Ordinance No. 01-2016, Amending Section 50-3 and 50-28 of the Solid Waste Regulations, at second and final reading - Dale Baker, Deputy City Manager (386) 878-8852.

Strategic Goal: Public Safety, strengthen code enforcement and focus on the city's beautification program.

LOCATION:

Citywide

BACKGROUND:

Staff has determined that there is a need to revise Chapter 50, "Solid Waste" of the City's Code of Ordinances in order to move forward with part of our strategic plan to strengthen code enforcement and center our efforts on our beautification program.

At the Commission Meeting held on January 4, 2016 the Commission voted 6 to1 to approve Ordinance No. 01-2016, to revise Chapter 50, Solid Waste, Sections 50-3 and 50-28 with changes. At a workshop on January 25, 2016 the Commission discussed the changes and decided to move forward with staff's recommendations.

These recommendations will make it easier for citizens to understand and improve the looks of our city. The biggest changes are:

- Garbage must be placed in either the contract provided container or an equivalent customer provided container (no trash bags and no 32-gallon personal containers);
- Acceptable quantities doubled (up to two (2) 96-gallon residential containers);
- Prior notice and scheduling of bulk trash/junk will be required before placing the item(s) out for pickup (acceptable quantities are also better defined); and
- Acceptable levels of yard trash have doubled (from four (4) 32-gallon containers or eight (8) garbage bags to sixteen (16) garbage bags/piles).

Amnesty of the quantity limitations will be allowed during the week following Christmas and New Year's Day and any other amnesty day(s) determined by the City of Deltona. Upon approval, an educational/outreach program will be implemented with enforcement to begin on June 1, 2016.

AGENDA ITEM:A.

COST:

N/A

SOURCE OF FUNDS:

N/A

ORIGINATING DEPARTMENT:

Deputy City Manager

STAFF RECOMMENDATION PRESENTED BY:

Dale Baker, Deputy City Manager - Staff recommends that the City Commission adopt Ordinance No. 01-2016, as presented at second and final reading.

POTENTIAL MOTION:

"I move to approve Ordinance No. 01-2016, to revise Chapter 50, Solid Waste, Sections 50-3 and 50-28 of the City's Code of Ordinances at second and final reading."

ORDINANCE NO. 01-2016

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA, AMENDING CHAPTER 50, "SOLID WASTE", OF THE CITY OF DELTONA CODE OF ORDINANCES, BY CHANGING DEFINITION OF RESIDENTIAL COMPAINER, CHANGING DUTIES OF CUSTOMERS AND PLACEMENT OF SOLID WASTE FOR COLLECTION, PROVIDING FOR A CIVIL PENALTY; AND PROVIDING FOR CONFLICTS, CODIFICATION, SEVERABILITY, AND EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA:

SECTION 1. Section 50-3, "Definitions", of the Chapter 50, "Solid Waste", of the City of Deltona City Code is amended by changing the definition of "Residential container" to read as follows:

Residential container means a 96-gallon or 64-gallon contractor provided or equivalent style and size container provided by the customer (neither city nor contractor will be responsible for damage to any customer provided containers) made of nonabsorbent material, provided with a closely fitting cover. ~~Contractor provided container(s) shall not exceed a gross capacity of 96 gallons. Customer provided container(s) shall not exceed a gross capacity of 45 gallons, have side bail handles and not weigh more than 60 pounds when filled and placed for collection by an authorized collector. The director or designee may approve alternative containers.~~

~~Residential container means a container made of nonabsorbent material, provided with a closely fitting cover and side bail handles. Container shall not exceed a gross capacity of 45 gallons. Container shall not weigh more than 60 pounds when filled and placed for collection by an authorized collector. The director or designee may approve alternative containers.~~

SECTION 2. Section 50-28, "Duties of customers; placement of solid waste for collection," of the Chapter 50, "Solid Waste", of the City of Deltona City Code is amended to read as follows:

Sec. 50-28. - Duties of customers; placement of solid waste for collection.

(1) All garbage, ~~yard waste~~ and rubbish generated from a residential improved real property shall be ~~bagged~~ ~~placed~~ by the customer, placed in residential containers and then placed at the applicable collection point on the designated solid waste collection day. Garbage and rubbish must be placed in the residential container for pick-up. Solid waste collection days shall be established by the director.

(2) Each residential improved real property shall be entitled to place up to two ~~one~~ 96-gallon residential solid waste containers ~~or the equivalent capacity in containers provided by customers~~, per week on designated collection days for that customer. Excess material shall not be placed outside the container; ~~not to exceed five times per quarter~~ with the exception of the collection day following Christmas Day, New Year's Day and any amnesty day(s) determined by the City of Deltona. Used tires not to exceed four (4) per week are allowed and may be placed outside the residential container. Customers who ~~habitually set out~~ generate excess material above the two residential containers shall be required to ~~place such excess material in a customer provided residential container at no additional charge, or (at the option of the customer) obtain~~ an additional container ~~a second contractor provided container~~. If a customer obtains a second contractor provided container, Such customer shall be required to pay an additional monthly fee for such additional container. There shall be three designated collection days per week, one day shall be for "yard trash", one day shall be for solid waste and the other shall be for recycling collection. The director may add additional collection days if it is deemed necessary for the public health, safety and welfare.

(3) Each residential improved real property shall be entitled to place ~~Any one (1) large (bed, couch, etc.) or two (2) small (chair, end table, etc.)~~ bulk trash or junk items ~~shall be placed~~ at the collection point on the collection day designated for such collection. Bulk trash or junk item pick up shall be scheduled through the contractor prior to placing the item(s) out for pickup. Excessive amounts of bulk trash or junk may require special service with fees applied.

(4) Each residential improved real property shall be entitled to place up to sixteen (16) bags of yard waste or piles of limbs, bundled or a combination thereof, and each not to exceed sixty (60) pounds on designated collection days for that customer. Limbs should not exceed four (4) feet in length or six (6) inches in diameter. The bags and/or piles of limbs may be placed in 32, 64 or 96-gallon containers. Yard waste shall not be placed at the collection point prior to 6:00 p.m. the day prior to collection, if containers are used they shall be removed no later than 9:00 p.m. on collection day. Larger size or additional quantities of yard trash will require a special pickup scheduled through the contractor with fees applied. Tree removal, land clearing, land development, building demolition or home improvement debris shall be scheduled through the contractor and shall be disposed of as a special service with fees applied.

(5) The customer shall place all solid waste at the following collection points for the specified categories of property:

(a) For a single-family residence, solid waste shall be placed at a point within the right-of-way abutting the driveway of such residence no further than ~~ten~~ three (3) feet from the curblineline or paving line, or, if no right-of-way exists which abuts the customer's property, at a point no greater than ~~ten~~ three (3) feet from the paving line, of the roadway and abutting the driveway of such residence. A customer who resides on a private road must place, and allow access to their residential container abutting their driveway.

(b) For multifamily dwelling units, waste shall be placed at a point designated by the collector in consultation with the customer, which will maximize economy of collection of the solid waste while considering the public health and the convenience of the customer.

(c) Authorized collector shall provide rear-door collection to certified handicapped residents unable to place containers pursuant to this subsection without extra charge.

(d) Customers must ensure that containers may be picked up without interference from pets or other sources and that the safety of the authorized collector is not threatened.

(e) Containers shall be removed ~~within 12 hours after~~ no later than 9:00 p.m. on collection day and shall not be placed at the collection point prior to 6:00 p.m. the day ~~more than 12 hours~~ prior to collection.

(f) Where road access is not passable by the authorized collector, the customer must place solid waste at nearest passable public right-of-way.

(6) In the event of a dispute between the collector and a customer regarding the location of the collection point, the collector's decision shall be subject to review by the director. The director's decision shall be final and binding.

(7) Customers ~~must~~ are encouraged to separate recyclable material from other solid waste and place such material in recycling containers for pick up by the collector on the day designated for collection.

(8) When trash bags are used, the integrity of the bags and their contents shall be the responsibility of the customer. Ruptures of bag or damage from any cause, resulting in the scattering of solid waste, shall obligate the customer to reassemble all of the solid waste and provide an undamaged bag or other receptacle prior to pick-up by the city. The scattering of solid waste (littering) shall be subject to a fine.

(9) The location of garbage, recycling and yard waste containers located at residential properties, when not set out for the day of pickup, shall be kept away from the front of any building or premises. No garbage, recycling, ~~or~~ yard waste or container shall be kept or maintained upon or adjacent to any street, sidewalk, parkway or front yard and no such container shall be placed within five feet of any property line. No garbage can, recycling container or yard waste container shall be deposited upon an adjoining lot or premises, whether vacant or improved, occupied or unoccupied, or in any street or alley in the city. All garbage cans shall have a closeable lid and the lid shall be closed at all times except when it becomes necessary to lift the lid to deposit garbage in the garbage can or empty such can in a garbage truck.

(10) Violations of any section of this chapter shall have the following civil penalty:

First Offense

Repeat Offense

Up to \$250.00 Up to \$500.00

SECTION 3. CONFLICTS. All Ordinances or parts of Ordinances insofar as they are inconsistent or in conflict with the provisions of this Ordinance are hereby repealed to the extent of any conflict.

SECTION 4. CODIFICATION. The provisions of this Ordinance shall be codified as and become and be made a part of the Code of Ordinances of the City of Deltona. The sections of this Ordinance may be renumbered or relettered to accomplish such intention.

SECTION 5. SEVERABILITY. In the event that any portion or section of this Ordinance is determined to be invalid, illegal or unconstitutional by a court of competent jurisdiction, such decision shall in no manner affect the remaining portions or sections of this Ordinance which shall remain in full force and effect.

SECTION 6. EFFECTIVE DATE. This Ordinance shall take effect immediately upon its final passage and adoption.

PASSED AND ADOPTED THIS ____ DAY OF _____, 2016.

FIRST READING: _____

ADVERTISED: _____

SECOND READING: _____

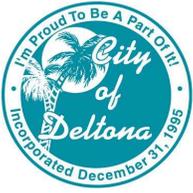
JOHN C. MASIARCZYK SR., MAYOR

ATTEST:

JOYCE RAFTERY, CITY CLERK

Approved as to form and legality for use
and reliance by the City of Deltona, Florida

GRETCHEN R. H. VOSE, CITY ATTORNEY



Agenda Memo

AGENDA ITEM:B.

TO: Mayor and Commission

AGENDA DATE: 2/15/2016

FROM: Jane K. Shang, City Manager

AGENDA ITEM: 9 - B

SUBJECT:

Public Hearing - Ordinance No. 02-2016, Request to Amend the Deltona Welcome Center Business Planned Unit Development (BPUD) to a New BPUD for Lots 2 and 3, at first reading - Chris Bowley, Planning and Development Services, (386) 878-8602.

Strategic Goal: Economic Development: Work with existing businesses to expand/grow.

LOCATION:

Lots 2 and 3, Deltona Welcome Center, are located at the northeast corner of the intersection of Deltona Blvd. and Debary Ave.

BACKGROUND:

The Business Planned Unit Development (BPUD) request is for the development of a Racetrac gas station with a ±6,000 square foot convenience store and multiple fueling bays. The proposed amendment is to update the Development Agreement (DA) and to create a new BPUD for Lots 2 and 3. The DA has been reviewed by staff and is presented in an underline/strike-through format that addresses land use, access management, transportation, development intensity, and aesthetics. For more information, see the attached staff report including the proposed DA with recommended changes. Finally, on January 20, 2016, the Planning and Zoning Board heard the rezoning request and recommended that the City Commission adopt Ordinance No. 02-2016 BPUD.

COST:

N/A

SOURCE OF FUNDS:

N/A

ORIGINATING DEPARTMENT:

Planning and Development Services

STAFF RECOMMENDATION PRESENTED BY:

Ron A. Paradise, Assistant Director Planning and Development Services - Staff recommends that the City Commission approve Ordinance No. 02-2016, amending Lots 2 and 3 of the Welcome Center Drive BPUD for a new BPUD, with the proposed changes to the Development Agreement, at first reading and to schedule second and final reading for March 7, 2016.

AGENDA ITEM:B.

POTENTIAL MOTION:

“I hereby move to approve Ordinance No. 02-2016, amending Lots 2 and 3 of the Welcome Center Drive BPUD for a new BPUD, with the proposed changes to the Development Agreement, at first reading and to schedule second and final reading for March 7, 2016.”

ORDINANCE NO. 02-2016

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA, REZONING THE BUSINESS PLANNED UNIT DEVELOPMENT (BPUD) AS BPUD FOR LOT 2, DELTONA WELCOME CENTER, PER MAP BOOK 45, PAGE 17 AND LOT 3 DELTONA WELCOME CENTER REPLAT, PER MAP BOOK 50, PAGE 37, OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, TOTALING APPROXIMATELY ±1.98 ACRES; PROVIDING FOR CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE.

WHEREAS, the City has received an application to rezone a portion of the February 23, 2003, Deltona Welcome Center Business Planned Unit (BPUD) Development as BPUD featuring a new Development Agreement and Master Development Plan for Lot 2, Deltona Welcome Center, Map Book 45, Page 17 and Lot 3 Deltona Welcome Center Replat, Map Book 50, Page 37.

WHEREAS, the City of Deltona, Florida, and its Land Planning Agency, have complied with the requirements of Municipal Home Rule Powers Act, sections 166.011 et seq., Florida Statutes, in considering the proposed BPUD rezoning action; and

WHEREAS, after said public hearing, the City Commission of the City of Deltona, Florida, has determined that the Lot 2 Deltona Welcome Center MB 45 PG 17 and Lot 3 Deltona Welcome Center Replat MB 50 PG 37 will be rezoned from the Deltona Welcome Center BPUD with amended and new BPUD standards.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA, AS FOLLOWS:

Section 1. Lot 2, Deltona Welcome Center, Map Book 45, page 17 and Lot 3 Deltona Welcome Center Replat, per Map Book 50, page 37 of the public records of Volusia County, Florida, are hereby rezoned as an amended Business Planned Unit Development.

Section 2. This Ordinance is adopted in conformity with and pursuant to the Comprehensive Plan of the City of Deltona, the Local Government Planning and Land Development Act, sections 163.161 et. seq., Florida Statutes, and the Municipal Home Rule Powers Act, Sections 166.011 et. seq., Florida Statutes.

Section 3. Conflicts. All Ordinances or parts of Ordinances insofar as they are inconsistent or in conflict with the provisions of this Ordinance are hereby repealed to the extent of any conflict.

Section 4. Severability. In the event that any portion or section of this Ordinance is determined to be invalid, illegal or unconstitutional by a court of competent jurisdiction, such decision shall in no manner affect the remaining portions or sections of this Ordinance, which shall remain in full force and effect.

Section 5. Effective Date. This Ordinance shall take effect immediately upon its final adoption by the City Commission.

**PASSED AND ADOPTED BY THE CITY COMMISSION OF THE CITY OF
DELTONA, FLORIDA THIS _____ DAY OF _____, 2016.**

First Reading: _____

Advertised: _____

Second Reading: _____

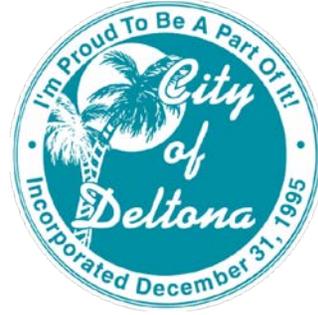
BY: _____
JOHN C. MASIARCZYK, SR., Mayor

ATTEST:

JOYCE RAFTERY, CMC, MMC, City Clerk

Approved as to form and legality
for use and reliance of the City of
Deltona, Florida

GRETCHEN R. H. VOSE, City Attorney



Staff Report

To: Planning and Zoning Board

From: Ron A. Paradise, Assistant Director, Planning and Development

Date: January 4, 2016

Re: Project No. RZ15-007, Ordinance No. 02-2016, Business Planned Unit Development Rezoning Request for Lots 2 and 3 Deltona Welcome Center

A. Summary of Application:

Applicant: Mikal R Hale, P.E.
Traffic Engineering Solutions, Inc.

Request: Rezone Lots 2 and 3 of the Deltona Welcome Center project from Business Planned Unit Development (BPUD) Development Agreement to Business Planned Unit Development (BPUD).

Tax Parcel No.: 01-19-30-08-00-0020 & 01-19-30-10-00-0030

Property Acreage: ±1.98 Acres

Property Location: Northeast corner of the intersection of Deltona Boulevard and Dirksen/Debary Avenue.

Legal Description: Lot 2 Deltona Welcome Center, per Map Book 45, page 17 and Lot 3 Deltona Welcome Center Replat, per Map Book 50, Page 37, of the public records, Volusia County, Florida

Existing Zoning: BPUD

B. Background: The City has received an application to rezone a portion of the Deltona Welcome Center Business Planned Unit Development (BPUD) project to an independent Business Planned Unit Development. The purpose of the rezoning is to

reconfigure site access and to facilitate the construction of an approximately 6,000 square foot convenience store with 20 fueling pumps. Recently the property was the subject of an amendment to the 2003 Deltona Welcome Center Business Planned Unit Development. The amendment involved very limited subject matters and addressed only access and a change of use (allowance of a convenience store with fueling pumps). The amendment to the 2003 Deltona Welcome Center BPUD was approved by the City on September 21, 2015. After approval, the applicant approached the County to gain access to Debary Av. However, after extensive negotiations, the County did not approve the access request. The lack of access onto Debary Av. caused the applicant to review other access options for the site.

With regard to access, the applicant, through this rezoning application, is requesting a full movement onto Deltona Blvd. The September 2015 amendment granted a limited right in and right out access to Deltona Blvd. Deltona Blvd. is a City road and the City has the ability to grant a full access movement to this roadway.

Other elements of the rezoning request include landscaping, transportation improvements and building design and orientation (as depicted on the Master Development Plan and building elevations).

Since the current request addresses more than a limited subject (access/use), a rezoning for Lots 2 and 3 was determined to be a more comprehensive approach to managing development on the property. The rezoning request covered under Ordinance No. 02-2016 will only be applicable for lots 2 and 3. Ordinance 14 – 2015 which was an amendment to the 2003 Deltona Welcome Center Business Planned Unit Development will be superseded by this rezoning request. In addition, the 2003 Deltona Welcome Center BPUD will remain in effect for the remainder of the Welcome Center lots and common areas (stormwater, etc.). Finally, any requirements or obligations associated with the 2003 BPUD agreement not covered in this request will remain in effect and be applicable to lots 2 and 3.

C. Support Information

Public Facilities:

- a. Potable Water: to be supplied by Deltona Water
- b. Sanitary Sewer: to be supplied by Deltona Water
- c. Fire Protection: Deltona Fire Station 62

- d. Law Enforcement: Volusia County Sheriff's Office (VCSO)
- e. Electricity: Duke Energy

D. Matters for Consideration:

Section 110-1101, Code of City Ordinances, states that the City shall consider the following matters when reviewing applications for amendments to the Official Zoning Map:

1. Whether it is consistent with all adopted elements of the Comprehensive Plan.

The rezoning request is consistent with the following goals and objectives of the City's Comprehensive plan.

Policy FLU1-7.26

The City shall seek to expand commercial, industrial and mixed-use development at appropriate locations, including the three target areas identified in accordance with economic development strategies and initiatives.

The subject property is located in one of three major gateways into the City, and is an ideal location for commercial development. Located within 600 feet of I-4, this property is appropriate for the use proposed.

Policy FLU1-5.13

In implementing the Future Land Use Element, the City shall develop and adopt regulations to ensure to the maximum extent feasible, compatibility of use of areas and properties, including but not limited to such factors as traffic circulation, air quality and odor control, noise control, lighting and aesthetics. 9J-5.006(3)(c)(2)

There are suggested changes to the BPUD Development Agreement that seek to improve traffic circulation and promote aesthetically appropriate development. Therefore, the attached Development Agreement with staff suggested changes would be consistent with this policy.

Policy T1-3.2

The City of Deltona shall maintain land use regulations which provide for the continued safe and efficient movement of local traffic, and maintain a transportation system which accommodates demand at an acceptable level of service. 9J-5.019(4)(c)

The Thoroughfares in the area operate within acceptable level of service thresholds. Transportation improvements and a signal warrant study required

as part of the revised Development Agreement will help ensure the movement of traffic.

Policy I1-PW3.5

The "infilling" of developed areas shall be directed to locations where an existing central system of potable water is available and where capacity is adequate to service the intended development or to those areas where funds have been committed for the provision of adequate capacity. 9J-5.011(2)(c)(1)

Development at this site would be an example of infill. Water and sewer utilities are already established in this area and capacity is available.

2. Its impact upon the environment or natural resources.

The subject property has been planned for urban and highway interchange development for quite some time. The site is densely wooded with a mix of palms, hardwoods and a few pines. Gopher tortoises are known to inhabit the site and the applicant will need to follow state and federal procedures to remove those animals. No other listed species are known to inhabit the site.

3. Its impact upon the economy of any affected area.

The development of a RaceTrac gas station will create short-term construction trickle down economic growth and later result in several full-time management positions as well as up to 20 part-time positions.

4. Notwithstanding the provisions of Article XIV of the Land Development Code, Ordinance No. 92-25 [Chapter 86, Code of Ordinances] as it may be amended from time to time, its impact upon necessary governmental services, such as schools, sewage disposal, potable water, drainage, fire and police protection, solid waste or transportation systems.

a. **Schools:** This rezoning is non-residential and should have no negative impact on local schools

b. **Sewage Disposal:** Wastewater will be treated by Deltona Water. The proposed use will generate approximately 1,300 Gallons Per Day (GPD) of wastewater; the Deltona Water sanitary sewer system currently has 250,000 GPD of remaining treatment capacity.

c. **Potable Water:** Potable water will be supplied by Deltona Water. The proposed development will use approximately 1,300 GPD of potable

water, which is equivalent to four residential dwelling units. Deltona Water has ample potable water capacity to support the proposed use.

- d. **Drainage:** The Deltona Welcome Center PUD project has a master stormwater system to manage stormwater associated with the development. The applicant will be required to certify the capacity of the master stormwater system to warrant that there is adequate volume and flow characteristics to manage run-off generated by the project. In addition, if there are stormwater deficiencies identified, the applicant will be responsible for addressing such deficiencies.
- e. **Transportation Systems:** The surrounding thoroughfares have trip capacity and currently operate at a level of “D”, with the exception of Dirksen/Debary Avenue from Deltona Blvd to I-4 which operates at a level of “E”. The applicant has provided a Transportation Impact Analysis (TIA) that indicates the following:
- The proposed development will generate a total of 1,704 net new daily trips, of which 82 new trips will occur in the AM peak hour and 102 new trips will occur in the PM peak hour.
 - A review of roadway capacity indicates that currently all roadway segments operate within capacities and are projected to continue to do so at project build-out.
 - An analysis of intersection capacity and operations reveals that the study intersections currently operate adequately. The intersections are projected to continue to operate adequately after project build-out.

As has been mentioned, an element of this rezoning request is a full access movement onto Deltona Blvd. The proposed access point has been reviewed by three traffic/engineering professionals including a transportation engineer for the applicant, a transportation engineer hired by the City to review the applicant supplied traffic impact analysis and the City engineer. Find attached the applicant supplied traffic impact analysis prepared by the firm TMC and a peer review of the TMC work prepared by an engineer at the consulting company VHB. The results of the TMC and VHB findings are differing. VHB indicates that the full access movement would create traffic conflicts associated with left turns, especially during the a.m. peak. TMC indicates that the full access could be functional. However, the addition of a full access to Deltona Blvd., based on the juxtaposition of the requested access to the Welcome Center Dr./Deltona Blvd. and Deltona Blvd./Debary Av. intersections, would necessitate

transportation improvements to the Deltona Blvd. corridor. The need for improvements to the local Deltona Blvd. corridor is made more acute because of the curvature of Deltona Blvd. south of Welcome Center Dr. and traffic queuing characteristics along Deltona Blvd. during the a.m. peak.

Based on input from the City engineer, the following actions are recommended to accommodate the proposed full movement access onto Deltona Blvd.:

1) A center turn lane shall be installed extending from the left turn lane at the Welcome Center Dr./Deltona Blvd. intersection to the left turn lane at the Deltona Blvd./Debary Av. intersection.

2) To accommodate the above mentioned center turn lane, the existing travel lanes of Deltona Blvd. need to be expanded. This expansion should be accommodated within the existing Deltona Blvd. platted right of way.

3) The full access point on Deltona Blvd. shall be designed consistent with Chapter 96 and Chapter 110-829 of the City Land Development Code. In addition, the access shall be designed and available to facilitate joint access for neighboring lot 4.

4) A signal warrant study, financed by the applicant, will be required within one year of an issuance of a certificate of occupancy to determine if there is a need for a traffic signal at the Welcome Center Dr./Deltona Blvd. intersection. If a signal is warranted, the City and the applicant will engage in a fair share agreement to pay for the signal installation.

All of the above improvements, with the exception of the Welcome Center Dr./Deltona Blvd. signal shall be the sole responsibility of the applicant to finance and construct (to City specifications).

5. Any changes in circumstances or conditions affecting the area.

The Deltona Welcome Center PUD has underperformed for many years; even with the widening of Debary Avenue five years ago. The proposed project represents an opportunity for renewed investment in the Welcome Center area.

6. Any mistakes in the original classification.

No known mistakes.

7. Its effect upon the public health, welfare, safety, or morals.

The BPUD, like all Planned Unit Developments, is associated with a written Development Agreement (DA). The DA as part of the subject rezoning addresses matters of public health, welfare, safety and morals. For example, the access and related conditions are part of the DA. Also, there are aesthetic parameters included within the DA, more specifically, building elevations and a landscape plan.

The property, by virtue of location at an entrance to the City, is covered by gateway standards known as the Enterprise Commercial Overlay District (EO). The EO is intended to promote a high quality built environment that is complementary to the historical character of the nearby unincorporated community of Enterprise. Upon reviewing the RaceTrac building elevations, staff has determined that the architectural design and treatments of the primary structure capture the building design elements of the EO. However, there are some aspects of the site design that could be upgraded to more thoroughly comport with the EO standards. The suggested upgrades are as follows:

- a. The fueling canopy cannot be backlit;
- b. The dumpster and outside storage is completely screened from public right-of-ways;
- c. The pedestrian path from the fueling canopy is delineated with materials or textures and a matching building color that are different from the surrounding parking lot;
- d. All mechanical equipment, including but not limited to, meters, utility boxes, wells, etc., freestanding or not, shall be completely screened;
- e. A master lighting plan to include photometric details demonstrating that illumination will not exceed 1 foot candles along any property lines, will be required as part of the Site Plan review process. The master lighting plan shall also depict the location, type and height of lighting and freestanding light pole design; and
- f. Non-recessed lighting is acceptable provided lights are not neon or fiber optic.

Finally, a landscape plan is included as an exhibit of the Development Agreement. Landscaping is a function of the City site plan review process. Therefore, the landscaping plan should be removed from the Development Agreement and a statement made that landscaping shall comply with Chapter 110-808.

CONCLUSION/STAFF RECOMMENDATION:

Staff recommends approval of Ordinance 02-2016 to include the changes suggested to the Development Agreement.

**THIS INSTRUMENT PREPARED BY
AND AFTER RECORDING RETURN TO:**

Gretchen R. H. Vose, Esq.
City Attorney
City of Deltona
2345 Providence Boulevard
Deltona, Florida 32725

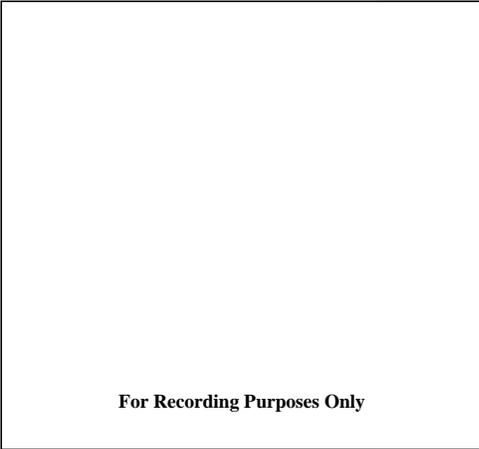


Exhibit "A" to Ordinance No. 02-2016

DEVELOPMENT AGREEMENT

for the project known as RaceTrac Neighborhood Market located within the Deltona Welcome Center Business Planned United Development (BPUD) (hereinafter referred to as the "Subject Property").

THIS DEVELOPMENT AGREEMENT (hereinafter referred to as the "Agreement") is entered into and made as of the ___ day of _____, 2016, by and between the CITY OF DELTONA, a Florida municipal corporation, with a mailing address of 2345 Providence Boulevard, Deltona, Florida 32725, (hereinafter referred to as the "City"), and RACETRAC PETROLEUM, INC., a Georgia corporation, with a mailing address of 3225 Cumberland Boulevard, Atlanta Georgia 30339 (hereinafter referred to as the "Developer").

WITNESSETH

~~WHEREAS, the Developer is currently under contract to purchase the Subject Property and, in the event Developer ultimately acquires the Subject Property, intends to develop such property as a RaceTrac neighborhood market with fueling positions (the "RaceTrac Project"); and~~

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WHEREAS, the Subject Property, more particularly described on Exhibit "A" attached hereto and incorporated herein by this reference, is a portion of the Deltona Welcome Center Business Planned Unit Development (BPUD) and the BPUD is subject to that certain

~~Developer's Development Agreement dated April 25, 2003, and recorded among the Public Records of Volusia County, Florida at Official Records Book 5065, Page 415 (the "2003 Developer's Agreement"); and specific items covered by this agreement will supersede the 2003 Developer's Agreement and Ordinance No. 14-2015. However, if there is an issue that is not covered by this Development Agreement, the 2003 Developer's Agreement will take precedence.~~

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WHEREAS, the Developer desires to facilitate the orderly development of the Subject Property in compliance with the laws and regulations of the City and of other governmental authorities, and the Developer desires to ensure that its development is compatible with other properties in the area and planned traffic patterns; and

WHEREAS, the development permitted or proposed under this Agreement is consistent with the City's Comprehensive Plan, concurrency management system, and all land development regulations and this Agreement does not replace, supersede, or grant variances to those regulations; and

WHEREAS, it is the purpose of this Agreement to clearly set forth the understanding and agreement of the parties concerning the development of the Subject Property only and not other portions of the areas within the 2003 BPUD; and

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WHEREAS, the Developer has sought the City's approval to develop the Subject Property, and the City approved Ordinance No. ~~02-2016~~, through modifying the Subject Property's BPUD zoning designation on ~~_____~~. The BPUD shall consist of this Agreement, ~~the 2003 Developer's Agreement and Exhibit "B"~~, Master Development Plan (**EXHIBIT "B"**) (MDP), and all other exhibits attached hereto, and by this reference made a part hereof as the Preliminary Plan, subject to the covenants, restrictions, and easements offered by the Developer and contained herein, (hereinafter the "Master Development Plan"). ~~Where more detailed criteria for City required submittals exceed the criteria required for a Master Development Plan, the more detailed criteria applies provided it does not directly conflict with the Master Developer Plan or this Agreement.~~

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NOW THEREFORE, in consideration of the mutual covenants and agreements contained herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto agree as follows:

1. **Recitals and Definitions.** The recitals herein contained are true and correct and are incorporated herein by reference. All capitalized terms not otherwise defined herein shall be as defined or described in the City's Land Development Code, as it may be amended from time to time, unless otherwise indicated.

2. **Contract Purchaser.** The Developer is the contract purchaser of the Subject Property.

3. **Duration.** The duration of this Agreement is binding ~~in the event that the Developer acquires fee title to the Subject Property~~ and thereafter runs with the land in perpetuity, unless amended or terminated pursuant to the terms of the Land Development Code this Agreement.

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4. **Development of the Subject Property.** Development of the Subject Property shall be subject to performance standards listed in this Agreement. Where a land use listed below differs from a defined use in the City of Deltona's Code of Ordinances, the use listed in this Agreement shall prevail.

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A. ~~Development of the Subject Property for the RaceTrac Project This BPUD~~ is consistent with the Comprehensive Plan.

B. Permitted principal uses allowable on the Subject Property: Convenience Store with no more than 20 fueling positions Gas Pumps (Type C Automobile Service Station) and other uses as set forth in the ~~existing 2003~~ BPUD.

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C. Prohibited principal uses are as set forth in the ~~existing 2003~~ BPUD.

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D. Proposed maximum intensity: 0.155 Floor Area Ratio ~~(measured in floor area ratio)~~ is as set forth on the Master Development Plan (as hereinafter defined).

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E. Impervious surface ratio is not to exceed ~~75%~~ 65% ~~as calculated for the entire Deltona Welcome Center project covered under the 2003 BPUD. However, for the purpose of calculating impervious surface, no land located within the Welcome Center Dr. easement shall be included within the calculation. of the gross square footage for the Subject Property. As part of site plan review process, the applicant will be responsible for calculating the amount of impervious surface throughout the Deltona Welcome Center project to ensure that total ISR control is not exceeded.~~

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F. Maximum lot coverage: 40% ~~(in %)~~ ~~(dry retention systems can be used towards open space)~~ as depicted on the Master Development Plan (as hereinafter defined).

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G. ~~Minimum Landscaping and bufferyard requirements shall comply with Section 110-808 of~~ ~~are per~~ the City's Land Development Code, ~~as it may be amended from time to time,~~ and the landscaping plan attached hereto as **Exhibit "C"** and incorporated herein by this reference satisfies all applicable standards. ~~Stormwater management facilities shall not be placed within bufferyards.~~ ~~However, it is recognized that, as function of an easement referenced on the Deltona Welcome Center Final Plat (MB 48, PG 18), a sidewalk is allowed within the landscape buffer area. The City will recognize the easement as a function of an approved plat and therefore, the sidewalk will be allowed within the landscape buffer along Deltona Blvd. and DeBary Av.~~

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~~H. The Subject Property satisfies the minimum lot size area (in acreage or square footage). Minimum lot size: 1.9 acres~~

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~~I. The Subject Property satisfies the minimum lot width (in feet). Minimum lot width: As platted.~~

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~~J. Minimum yard setbacks: Front yard – (Deltona Blvd., Debarry Av., Welcome Center Dr.) 35 feet; Side yard – 15 feet. are as set forth on the Master Development Plan (hereinafter defined).~~

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K. Maximum building height (in feet): 35 feet.

~~L. Minimum parking standards are per Sections. 110-828 and 110-829 of the City’s Land Development Code as it may be amended from time to time.~~

~~L. Signs: Signs shall comply with Chapter 102 of the Land Development Code as it may be amended from time to time.~~

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~~M. Architectural controls and development on the Subject Property shall follow a common architectural theme as listed in this Agreement by harmoniously coordinating the general appearance of all buildings and accessory structures. The City agrees that the architectural elevations attached hereto as Exhibit “DC” (Note: This section supersedes exhibit B of the 2003 Development Agreement.) and incorporated herein by this reference satisfy, all applicable standards, including the Enterprise Commercial Overlay District, provided that the following requirements are met: -~~

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- ~~1. The canopy cannot be backlit;~~
- ~~2. The dumpster and outside storage is completely screened from public right-of-ways and the Welcome Center Dr. easement;~~
- ~~3. The pedestrian path from the fueling canopy is delineated with materials or textures and a matching building color that are different from the surrounding parking lot;~~
- ~~4. All mechanical equipment, including but not limited to, meters, utility boxes, wells, etc., freestanding or not, shall be completely screened;~~
- ~~5. A master lighting plan to include photometric details demonstrating that illumination will not exceed 1 foot candles along any property lines, will be required as part of the Site Plan review process. The master lighting plan shall depict the location, type and height of lighting and freestanding light pole design; and~~
- ~~M.6. Non-recessed lighting is acceptable provided lights are not neon or fiber optic.~~

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N. Utility provision and dedication: The Developer shall connect to the City of Deltona's central utility systems, ~~when available, or to Volusia County's central utility systems, where applicable, at their sole cost and expense.~~ Utility connection and tap fees shall be paid to Deltona Water ~~or Volusia County, respectively,~~ before any building permit is issued. Any utility systems serving more than the Subject Property are to be designed, permitted, and constructed to ~~the respective service provider~~ City specifications and dedicated to the respective service provider upon final inspection, clearance, and acceptance by the service provider.

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O. Stormwater and environmental: The 2003 Developer's Agreement and related approvals established the stormwater systems or master stormwater system which shall remain in private ownership and shall not be dedicated to or become the responsibility of the City of Deltona. Developer shall document to the satisfaction of the City that the existing, joint shared, stormwater management system shall accommodate and treat stormwater from the proposed development. In addition, the applicant shall provide documentation that the existing system is in proper operating condition and any reported maintenance issues shall be addressed (repaired, replaced, etc.), to the satisfaction of the City prior to issuance of a Site Engineering permit. All environmental permitting, mitigation, and/or soil and erosion control for the Subject Property shall conform to all federal, state, and local permits/requirements, and shall be maintained in good condition/standing with the applicable permitting authorities. Best Management Practices and conformance to National Pollutant Discharge Elimination System (NPDES) criteria are required.

P. Transportation, site access, and traffic devices: Site access will be limited to two full movements. One access will connect to Welcome Center Drive and the other access will connect to Deltona Blvd. The Welcome Center Drive connection will be facilitated by an existing joint access easement (OR 4040, PG 104) that is part of the Welcome Center plat. The Deltona Blvd. access point shall be located as far from the Deltona Blvd./Debary Av. intersection and be located as part of a platted ingress/egress easement (MB 50, PG 37). However, the aforementioned ingress/egress easement (MB 50, PG 37) is not large enough to support the full access onto Deltona Blvd. To address this deficiency, the Deltona Blvd. access is planned to be situated within a proposed 35' ingress/egress easement. The 35' width of the easement is estimated on the MDP and may need to be larger as the design becomes more finalized. The subject 35' ingress/egress easement as depicted on the MDP must be appropriately executed and recorded before any site plan approvals are granted by the City. In addition, the ingress/egress easement shall be designed and so dedicated to allow unencumbered access for the future development of Lot 4 of the Welcome Center plat. The Developer is responsible for all transportation improvements ~~within the associated with the development of the~~ Subject Property, both on site and off site. On-site parking and internal circulation shall comply with Chapter 110-828 and 110-829. On-site circulation will be subject to other requirements identified during the site

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plan review process including, but not limited to, American Association of State Highway and Transportation Officials (AAHSTO) heavy truck turning radii. A right turn/deceleration lane shall be afforded to accommodate the Deltona Blvd. full access point. The right turn/deceleration lane shall be of adequate design and promote appropriate vehicle storage as to comply with the requirements of Chapter 96 of the City Land Development Code. In addition, the Developer will be responsible for the construction of a center turn lane on Deltona Blvd. extending from the southern extent of the left turn lane at the Deltona Blvd. and Welcome Center Drive intersection to the northern extent of the left turn lane associated with the Deltona Blvd./Debary Av. intersection. To accommodate the center turn lane, the existing Deltona Blvd travel lanes are going to have to be redesigned and widened. Part of the redesign includes the expansion of pavement within the Deltona Blvd. right of way window. The travel lane expansion will involve, at minimum, the segment of Deltona Blvd. from Welcome Center Drive to Debary Av. There may be other improvements needed to accommodate the lane expansion such as transitions, relocations, etc. Any improvements and other work associated with the lane expansion shall be designed and constructed in a manner that will not conflict with an eventual four lane upgrade to the subject segment of Deltona Blvd. The following improvements need to be designed and constructed before the City issues a certificate of occupancy for the project. Finally, all costs associated with the aforementioned improvements, including maintenance of traffic, design, construction, and other activities shall be the sole responsibility of the Developer and shall not be reimbursable by the City or any other government entity through impact fee credits or other arrangements. ~~Off site transportation improvements which are the responsibility of the Developer are set forth in the traffic study dated _____, 2015 which was submitted to and accepted by the City. Additionally, the City and the Developer agree that a traffic signal at Welcome Center Drive and Deltona Boulevard is not warranted by existing conditions, including the RaceTrac Project. The Developer agrees to cooperate with the City, upon written request, in connection with future monitoring to determine whether a traffic signal may be required in the future at the Welcome Center Drive and Deltona Blvd. intersection. Any such monitoring must be requested by the City within two (2) years one year of the issuance of a certificate of occupancy for the RaceTrac Project. In addition, the cost of the signal warrant study shall be the responsibility of the Developer or any entity in the succession of title. However, the City shall be responsible for contracting with a qualified consultant to perform the signal warrant study. If a study concludes that a signal will be warranted at the Welcome Center Dr./Deltona Blvd. intersection, the cost of signal installation shall be determined through a fair share agreement between the City and the Developer. The City agrees that it has the exclusive permitting authority and jurisdiction to grant the site access depicted on the Master Development Plan, including without limitation the full access on Deltona Boulevard, to the Subject Property and hereby approves such access. The City agrees to work with Volusia County, as required, to appropriately document the City's exclusive permitting authority with respect to access to Deltona~~

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~~Boulevard.~~

5. **Public Facilities/Land Dedication.** Any facilities or tracts that either are or shall become public facilities/tracts that will serve the development and/or are on the Subject Property shall be set forth on the re-plat for the Subject Property and approved by the City Commission.

6. **Development Permits/Fees.** The Developer is responsible for obtaining, permitting, and the payment of all fees for facilities and services for development of the Subject Property. Any site permits shall be kept current with the respective permitting agency. All impact fees are applicable and no impact fee credits shall be awarded through this Agreement, ~~unless a cessation exists through a City moratorium that is Citywide. Proportionate fair share site improvements shall not be used in lieu of, but shall be credited against, impact fees.~~

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7. **Obligations.** Should the Developer fail to undertake and complete its obligations as described in this Agreement to the City's specifications as set forth in this Agreement, then the City shall give the Owner/Developer or Developer thirty (30) days written notice to commence and ninety (90) days to complete said required obligation, subject to force majeure; provided, however, in the event it reasonably takes longer than thirty (30) days to commence and/or ninety (90) days to complete, then the cure period shall extend as long as reasonably necessary provided Developer is diligently prosecuting such cure to completion. Notice to the Owner/Developer or Developer and its successors in interest shall be deemed to have been given upon the mailing of notice to the address or addresses set forth in Section 16 hereof.

8. **Site Plan/Plat Approval.** Exhibit "B", the Master Development Plan, is the Preliminary Plan of the Subject Property's portion of the BPUD and this Agreement. The Master Development Plan shall not replace, supersede, or absolve the Developer from approvals for any site plan, preliminary plat, and/or final plat and their respective regulations. Where more detailed criteria for City required submittals exceed the criteria required for a Master Development Plan, the more detailed criteria applies.

9. **Indemnification.** The Developer shall indemnify and hold the City harmless from any and against all claims, demands, disputes, damages, costs, expenses, (to include attorneys' fees whether or not litigation is necessary and if necessary, both at trial and on appeal), incurred by the City as a result, directly or indirectly, of the approvals and agreements contained in this Agreement, except those claims or liabilities caused by or arising from the negligence, default or intentional acts of the City, or its employees or agents. It is specifically understood that the City is not guaranteeing the appropriateness, efficiency, quality or legality of the use or development of the Subject Property, including but not limited to, drainage or water/sewer plans, fire safety, or quality of construction, whether or not inspected, approved, or permitted by the City.

10. **Compliance.** The Developer agrees that it, and their successors and assigns, will abide by the provisions of this Agreement, the City's Comprehensive Plan and the City's Code of

Ordinances, including but not limited to, the site plan regulations of the City as amended from time to time, which are incorporated herein by reference and such subsequent amendments hereto as may be applicable. Further, all required improvements, including landscaping, shall be continuously maintained by the Owner/Developer or Developer, or their successors and assigns, in accordance with the City's Code of Ordinances. The City may, without prejudice to any other legal or equitable right or remedy it may have, withhold permits, Certificates of Occupancy or plan/plat approvals to the Subject Property, should the Developer fail to comply with the terms of this Agreement. In the event of a conflict between this Agreement and the City's Land Development Code or the 2003 Developer's Agreement, this Agreement shall control.

11. **Obligations for Improvements.** Developer agrees that ~~Any~~ surface improvement as described and required hereunder included, but not limited to such as signalization, walls, stormwater management facilities, medians, and utilities, or any other surface improvement shall be performed, prior to the issuance of the first Certificate of Occupancy on that portion of the Subject Property that the surface improvement(s) relates or is otherwise scheduled in this Agreement.

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12. **Concurrency and Vested Rights.** Developer acknowledges and agrees that prior to the issuance of any development orders for the Property, the Owner/Developer or Developer must have received and be in the possession of a valid unexpired certificate of capacity/concurrency management system approval consistent with the City's Land Development Code. The capacity certificate/approval verifies the availability of infrastructure and service capacity sufficient to permit the proposed development of the Subject Property without causing a reduction in the levels of service adopted in the City's Comprehensive Plan. The certificate of capacity/approval shall be effective for a term, as defined in the City's Code of Ordinances. Neither this Agreement nor the approved Master Development Plan shall create or result in a vested right or rights to develop the Subject Property, as cited in Section 86-34 of the City's Land Development Code. ~~Notwithstanding the foregoing to the contrary, the City agrees that the RaceTrac Project fully and completely satisfies all applicable transportation concurrency requirements based on the provisions of Section 4(Q) of this Agreement, and that no such capacity certificate/approval contemplated above is necessary.~~

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13. **Environmental and Tree Preservation.** ~~The Owner/Developer or~~ Developer is responsible to obtain all site related permits and approval prior to any development activity on or for the Subject Property. This may involve mitigation for habitat of threatened or endangered flora and fauna or for species identified for proportion (i.e. tree preservation). This Agreement does not vest or exempt the Developer from any permitting and mitigation obligations needed to develop a Subject Property.

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14. **Enforcement.** Both parties may seek specific performance of this Agreement and/or bring an action for damages in a court within Volusia County, Florida, if this Agreement is breached by either party. In the event that either party to this Agreement files an action to enforce its rights hereunder, the prevailing party in such action shall be entitled to recover its

ecosts and expenses from the other party, including attorney fees, whether or not litigation is necessary and, if necessary, both at trial and on appeal.

15. **Utility Easements.** For any easement not established on a plat for the Subject Property, the Developer shall provide to the City such easements and other legal documentation, in form mutually acceptable to the City Attorney and the Developer, as the City may deem reasonably necessary or appropriate for the installation and maintenance of the utility and other services, including but not limited to, sanitary sewer, potable water, and reclaimed water services, electric, cable, gas, fire protection and telecommunications.

16. **Notices.** Where notice is herein required to be given, it shall be by certified mail return receipt requested, hand delivery or nationally recognized reliable courier service, ~~such as Federal Express or UPS~~. E-mail delivery of documents shall not replace or be in lieu of the aforementioned process. Said notice shall be sent to the following, as applicable:

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DEVELOPER'S REPRESENTATIVES:

Developer: RaceTrac Petroleum, Inc.
Attention: Corporate Counsel – Real Estate
3225 Cumberland Boulevard
Atlanta, Georgia 30339
Telephone: (770) 431-7600

Copy to: RaceTrac Petroleum, Inc.
Attention: Brian Thornton, VP
of Real Estate and Engineering
3225 Cumberland Boulevard
Atlanta, Georgia 30339
Telephone: (770) 431-7600

CITY'S REPRESENTATIVES:

City Manager
City of Deltona
2345 Providence Boulevard
Deltona, Florida 32725

With copy to:

Director
Planning & Development Services
City of Deltona
2345 Providence Boulevard
Deltona, Florida 32725

Should any party identified above change, it shall be said party's obligation to notify the remaining parties of the change in a fashion as is required for notices herein. It shall be the Owner/Developer's or Developer obligation to identify its lender(s) to all parties in a fashion as is required for notices herein.

17. **Compliance with the Law.** The failure of this Agreement to address a particular permit, condition, term, or restriction shall not relieve the Developer of the Subject Property from the necessity of complying with the law governing said permitting requirements, conditions, terms, or restrictions.

18. **Captions.** The captions used herein are for convenience only and shall not be relied upon in construing this Agreement.

19. **Binding Effect.** This Agreement shall run with the land ~~in the event the Developer acquires fee title to the Subject Property~~, and in such event shall be binding upon and inure to the benefit of the Developer and their successors and assigns in interest, and shall also be binding upon the City and its successor and assigns in interest. This Agreement shall become effective upon its execution with the Public Records of Volusia County, Florida. This Agreement does not, and is not intended to, prevent or impede the City from exercising its legislative authority as the same may affect the Subject Property.

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20. **Subsequently Enacted State or Federal Law.** If either state or federal law is enacted after the effective date of this Agreement that is applicable to and precludes the parties' compliance with the terms of this Agreement, this Agreement and correlating zoning amendment shall be modified or revoked, as is necessary, to comply with the relevant state or federal law.

21. **Severability.** If any part of this Agreement is found invalid or unenforceable in any court, such invalidity or unenforceability shall not affect the other parts of this Agreement, if the rights and obligations of the parties contained herein are not materially prejudiced and if the intentions of the parties can be affected. To that end, this Agreement is declared severable.

22. **Covenant Running with the Land.** In the event the Developer acquires fee title to the Subject Property, this Agreement shall run with the Subject Property and inure to and be for the benefit of the parties hereto and their respective successors and assigns and any person, firm, corporation, or entity who may become the successor in interest to the Subject Property or any portion thereof.

23. **Recordation of Agreement.** The parties hereto agree that an executed original of this Agreement shall be recorded by the City, at the Developer's expense, in the Public Records of Volusia County, Florida.

24. **Applicable Law/Venue.** This Agreement and the provisions contained herein shall be construed, controlled, and interpreted according to the laws of the State of Florida. Venue of any litigation relating to this Agreement shall be in the courts of Volusia County, Florida.

25. **Time of the Essence.** Time is hereby declared of the essence to the lawful performance of the duties and obligations contained in this Agreement. The Developer shall execute this Agreement within ten (10) business days of City Commission adoption of Ordinance No. 02-2016; and agrees to pay the cost of recording this document in the Public Records of Volusia County, Florida. Failure to execute this Agreement within ten (10) business days of this ordinance adoption may result in the City not issuing development orders or permits until execution and recordation of this Agreement has occurred.

26. **Agreement; Amendment.** This Agreement constitutes the entire agreement between the parties, and supersedes all previous discussions, understandings and agreements, with respect to the subject matter hereof; provided, however, that it is agreed that this Agreement is supplemental to the City's Comprehensive Plan and does not in any way rescind or modify any provisions of the City's Comprehensive Plan. Amendments to and waivers of the provisions of this Agreement shall be made by the parties only in writing by formal amendment. Notwithstanding the foregoing, in the event the Developer does not acquire the Subject Property within six (6) months of the Effective Date-, this Agreement shall automatically terminate and be of no further force or effect. Notwithstanding the foregoing, in the event the RaceTrac Project does not receive all necessary approvals from the City, Developer may terminate this Agreement which shall thereafter be of no further force or effect.

27. **Effective Date.** The Effective Date of this Agreement shall be the day this Agreement is recorded in the Public Records of Volusia County, Florida.

[SIGNATURES APPEAR ON FOLLOWING PAGES]

IN WITNESS WHEREOF, the Developer and the City have executed this Agreement.

DEVELOPER

**RACETRAC PETROLEUM, INC., a
Georgia corporation**

By:

Signature of Witness # 1

Signature

Print or type name

Print or type name

As:

Signature of Witness #2

Print or type

Print or type name

ATTEST:

Signature

Print or Type Name

As:

Mailing Address: _____

**STATE OF GEORGIA
COUNTY OF COBB**

The foregoing instrument was acknowledged before me this _____ day of _____, 2016, by _____, and _____, of _____, who is/are personally known to me or who has/have produced _____ as identification and who did not (did) take an oath.

Signature of Notary

(NOTARY SEAL)

Print or type name

CITY OF DELTONA:

By:

Date:

ATTEST:

Date:

Mailing Address:

City of Deltona

2345 Providence Boulevard

Deltona, Florida 32725

STATE OF FLORIDA

COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of _____, 2016, by _____, and _____, who are personally known to me and acknowledge executing the same freely and voluntarily under authority vested in them by the City of Deltona.

Signature of Notary

(NOTARY SEAL)

Print or type name

Approved as to form and legality for use and reliance by the City of Deltona, Florida

Gretchen R. H. Vose
City Attorney

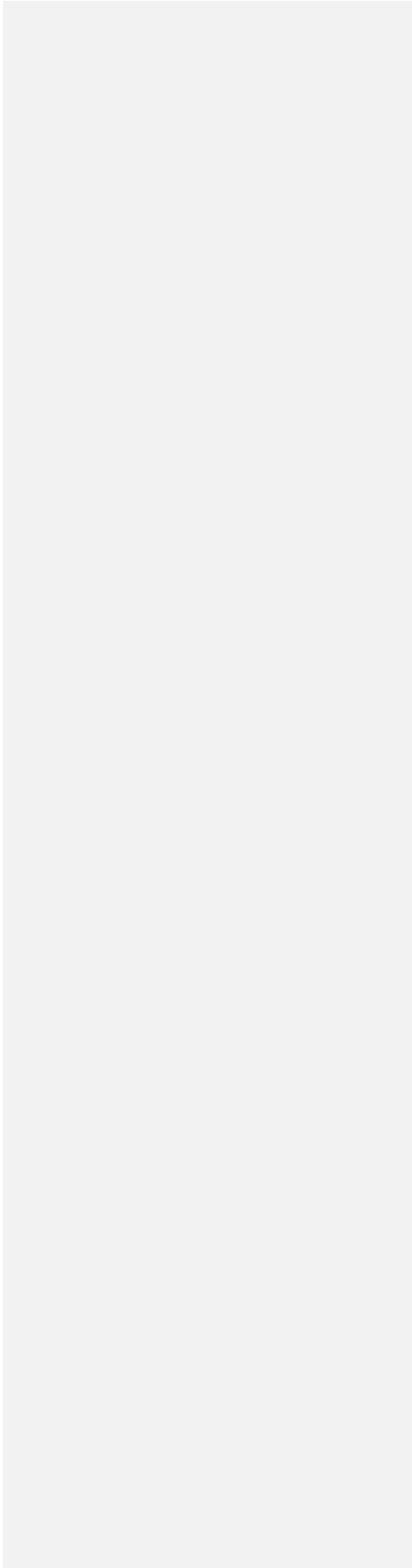
Exhibit "A"
Subject Property

LOT 2, DELTONA WELCOME CENTER, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 45, PAGE 17 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

and

LOT 3, DELTONA WELCOME CENTER REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 50, PAGE 37 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

**Exhibit “B”
Master Development Plan**



~~Exhibit "C"~~
~~Landscaping Plan~~

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Exhibit "~~CD~~"

RaceTrac Project Renderings

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LEGAL DESCRIPTION

LOT 2, DELTONA WELCOME CENTER, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 45, PAGE 17 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

and

LOT 3, DELTONA WELCOME CENTER REPLAT, ACCORING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 50, PAGE 37 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

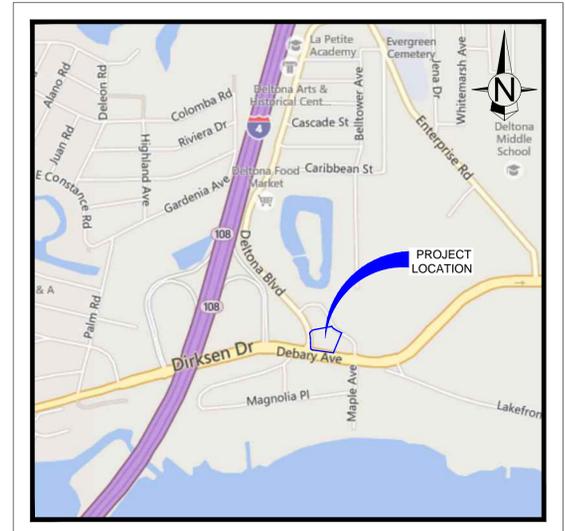
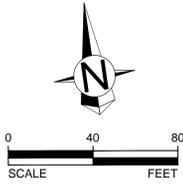
MASTER DEVELOPMENT PLAN

PROJECT ADDRESS:
DEBARY AVENUE
DELTONA, FL 32725

TAX PARCEL: 01-19-30-08-00-0020
01-19-30-08-00-0030

TOWNSHIP 19 SOUTH, RANGE 30 EAST, SECTION 01

LEGEND	
DRAINAGE SYMBOLS	
	STORM SEWER
	DRAINAGE INLET
	DRAINAGE MANHOLE
UTILITY SYMBOLS	
	DOMESTIC WATER SERVICE
	CHECK VALVE
	SANITARY SEWER PIPE
	SANITARY SEWER MANHOLE
	SANITARY CLEANOUT
	UNDERGROUND ELECTRIC
	TRANSFORMER PAD
SITE SURVEY SYMBOLS	
	PROPERTY BOUNDARY
	RIGHT-OF-WAY LINE
	EXISTING EASEMENT LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SPOT ELEVATION
	SANITARY SEWER MAIN
	POTABLE WATER MAIN
	UNDERGROUND ELECTRIC
	UNDERGROUND TELECOM
	OVERHEAD UTILITY LINE
	BORING LOCATION
	BENCHMARK
	WATER VALVE COVER
	SANITARY MANHOLE
	CONCRETE POWER POLE
	POWER POLE
	GUY ANCHOR
	LIGHT POLE
	TRAFFIC SIGN
	TELEPHONE BOX
	ELECTRIC BOX
	CONCRETE LIGHT POLE
	TRAFFIC CONTROL BOX
	RIGHT TURN ARROW
	LEFT TURN ONLY
	WATER VALVE
	TREE



VICINITY MAP
SCALE: 1" = 1,000'

LEGAL DESCRIPTION
LOT 2, DELTONA WELCOME CENTER, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 45, PAGE 17 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.
and
LOT 3, DELTONA WELCOME CENTER REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 50, PAGE 37 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA.

SITE DATA	
SITE AREA:	1.984 ACRES
EXISTING USE:	VACANT
EXISTING ZONING:	BUSINESS PLANNED UNIT DEVELOPMENT (BPUD)
EXISTING FUTURE LAND USE:	COMMERCIAL
PROPOSED USE:	GAS STATION AND CONVENIENCE STORE
PROPOSED BUILDING AREA:	5,928 SF
MAXIMUM ALLOWABLE FLOOR AREA RATIO (FAR):	0.140
PROPOSED FLOOR AREA RATIO (FAR):	0.069
MAXIMUM ALLOWABLE IMPERVIOUS AREA:	75%
MAXIMUM BUILDING HEIGHT:	35 FT

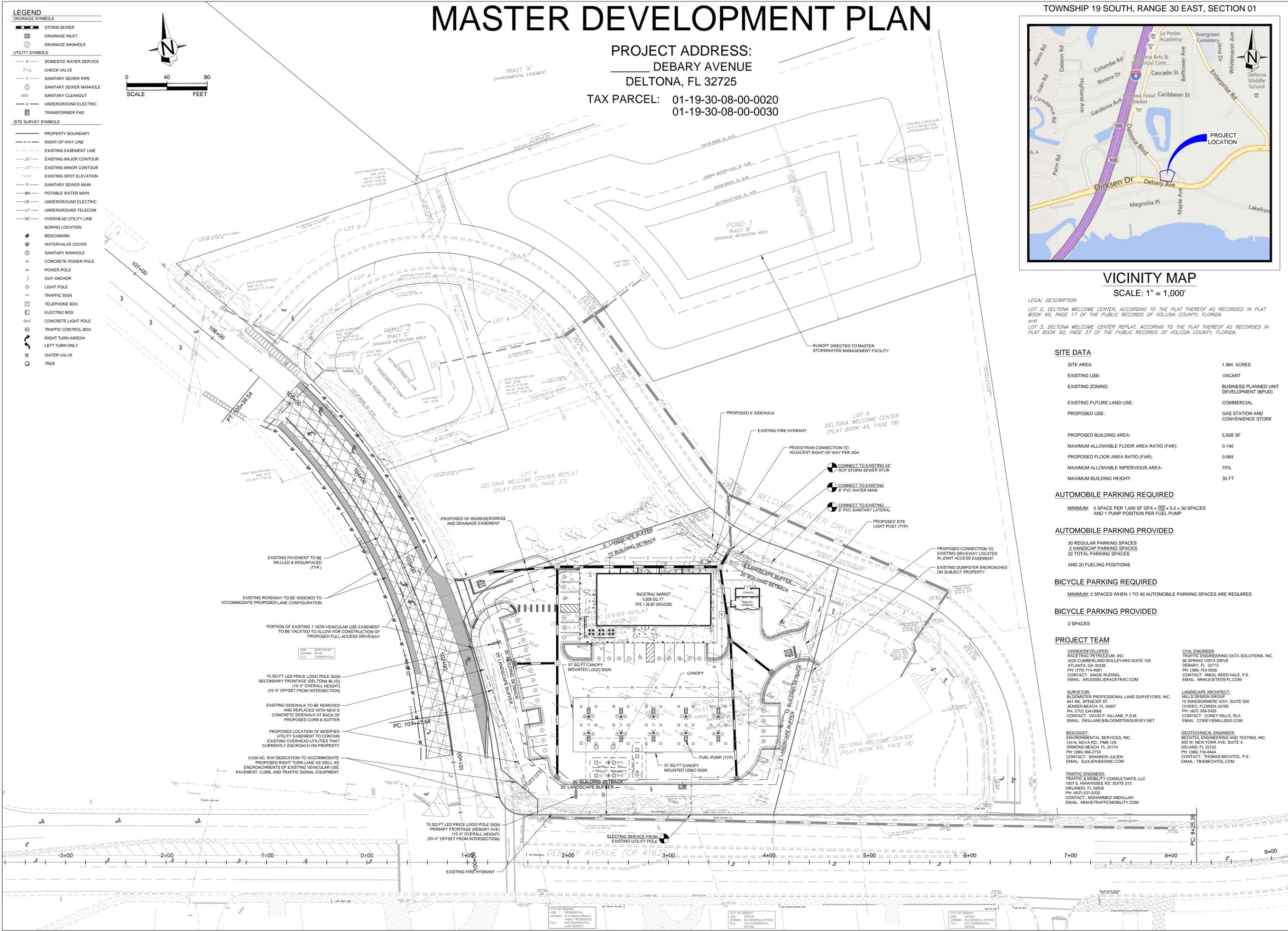
AUTOMOBILE PARKING REQUIRED	
MINIMUM:	5 SPACE PER 1,000 SF GFA = 30 X 5.0 = 30 SPACES AND 1 PUMP POSITION PER FUEL PUMP

AUTOMOBILE PARKING PROVIDED	
30 REGULAR PARKING SPACES	2 HANDICAP PARKING SPACES
32 TOTAL PARKING SPACES	
AND 20 FUELING POSITIONS	

BICYCLE PARKING REQUIRED	
MINIMUM:	2 SPACES WHEN 1 TO 40 AUTOMOBILE PARKING SPACES ARE REQUIRED

BICYCLE PARKING PROVIDED	
2 SPACES	

PROJECT TEAM	
OWNER/DEVELOPER RACETRAC PETROLEUM, INC. 3225 CUMBERLAND BOULEVARD SUITE 100 ATLANTA, GA 30339 PH: (770) 714-4581 CONTACT: ANGIE RUDISEL EMAIL: ARUDISEL@RACETRAC.COM	CIVIL ENGINEER TRAFFIC ENGINEERING DATA SOLUTIONS, INC. 80 SPRING VISTA DRIVE DEBARY, FL 32713 PH: (386) 753-0558 CONTACT: MIKAL REED HALE, P.E. EMAIL: MHALE@TEDS-FL.COM
SURVEYOR BLOOMSTER PROFESSIONAL LAND SURVEYORS, INC. 641 NE SPENCER ST. JENSEN BEACH, FL 34957 PH: (772) 334-0869 CONTACT: DAVID P. KILLANE, P.S.M. EMAIL: DKILLANE@BLOOMSTERSURVEY.NET	LANDSCAPE ARCHITECT MILLS DESIGN GROUP 10 WINDSORME WAY, SUITE 500 OWENSBORO, FLORIDA 32765 PH: (407) 559-5425 CONTACT: COREY MILLS, R.L.A. EMAIL: COREY@MILLSDG.COM
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TRAFFIC ENGINEER TRAFFIC & MOBILITY CONSULTANTS, LLC 1507 S. HAWAIIAN RD., SUITE 212 ORLANDO, FL 32835 PH: (407) 531-5332 CONTACT: MOHAMMED ABDALLAH EMAIL: MMA@TRAFFICMOBILITY.COM	



NO.	REVISIONS	BY	DATE

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MASTER DEVELOPMENT PLAN	
SITE	RACETRAC MARKET
SCALE	AS NOTED
DRAWN	TAS
DATE	12/14/2015
JOB NO.	10730
RACETRAC #836	

MDP 1	
SHEET NO.	REV.

Drawing name: Z:\2014 Projects\1202 (Racetrac) Deltona Welcome Center\MDP1.dwg, MDP1 SITE PLAN, Dec 14, 2015, 12:45pm, by: Andy

LANDSCAPE NOTES SCHEDULE

SYMBOL	DESCRIPTION
L-101	Landscape contractor is responsible for all materials and all work as called for on the Landscape Plans. The Plant List quantities provided are to be used strictly as a guide. It is the Landscape Contractors duty to field verify all quantities and notify any modifications to Mills Design Group (MDG) at the time of bidding.
L-102	Contractor shall familiarize himself/herself with existing site conditions prior to imitating planting. All existing site furnishings, paving, landscape, and other elements to remain shall be protected from any damage unless otherwise noted.
L-103	Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
L-104	The Contractor shall be responsible for removing existing groundcover for all planting beds as specified prior to planting installation.
L-105	All plants must meet Florida No. 1 Grade or better as outlined under Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida.
L-106	The Landscape Contractor shall review architectural engineering plans and become thoroughly familiar with surface and subsurface utilities. The Landscape Contractor shall coordinate with other trades to prevent conflicts, and shall coordinate the planting with the irrigation work to assure availability and proper location of irrigation items.
L-107	The Landscape Contractor shall be wholly responsible for stability and plumb condition of all trees and shrubs and be legally liable for any damage caused by instability of any plants. The Landscape Contractor shall determine trees to be staked or guyed. If necessary, guying and staking shall be done by a method approved by MDG prior to installation. It shall be the responsibility of the Landscape Contractor to remove guys and stakes after new root growth is firmly established. Landscape Contractor must remove Burlap from all trees prior to installation.
L-108	The Landscape Contractor shall insure that any of his work will not interrupt any existing or projected on-site drainage patterns. It is Necessary for the Landscape Contractor to Provide Proper drainage in all plant beds, planters and sod areas.
L-109	Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with the Owner's Representative and the Landscape Architects.
L-110	Any substitutions in size and/or plant material must be approved by the Landscape Architect. All plants will be subject to approval by the Landscape Architect and/or Owner's representative before planting can begin.
L-111	Contractor shall refer to the landscape planting details, plant list and general notes for further and complete landscape planting instructions.
L-112	Landscape Contractor shall coordinate all planting work with Irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation water and rainfall. Landscape contractor shall be responsible for hand water in all planting area, regardless of the status of existing or proposed irrigation.
L-113	Grass: All grass shall be recognized Empire Zoysia Grass. Grass must be weed free at time of install. The Landscape Contractor is responsible for measuring and determining the exact amount required.
L-114	Mulch: All plants shall be dressed with 2"-3" of Earthwise Virgin hardwood Mulch. Color must be DARK BROWN with no added dyes. No Mulch shall be placed within 4" of tree trunk.
L-115	The irrigation is designed as a permanent system and to provide 100% coverage.
L-116	The container size for the specified plant material must meet or exceed the plant material size specified in the plant schedule. The Landscape Architect and/or Owners representative may reject subpar plant material.

LANDSCAPE CODE REQUIREMENTS

SYMBOL	General Notes DESCRIPTION	QTY	Location	Length	Required Plants
LC-102	At least 25% of the Site Total required landscape area shall be covered by shrubs, groundcovers, or vines.				
LC-103	Palm Trees may satisfy no more than 25% of required Tree Count. Total Required Trees = 35 Max Palms Count Towards Canopy = 16 for 8 Canopy Trees				
SYMBOL	General Notes DESCRIPTION	QTY	Location	Length	Required Plants
◆	Preserved Specimen Trees	5			
SYMBOL	Tree Requirements DESCRIPTION	QTY	Location	Length	Required Plants
■	25' Landscape Buffer - Canopy Trees 2 Per 40 Feet	8	Daytona BLVD	191	8
■	25' Landscape Buffer - Understory Trees 2 Per 80 Feet	8	Daytona BLVD	191	8
●	30' Landscape Buffer - Canopy Trees 2 Per 40 Feet	16	Debary Ave	267	16
●	30' Landscape Buffer - Understory Trees 2 Per 80 Feet	16	Debary Ave	267	16
●	5' Landscape Buffer - Canopy Trees 1 Per 40 Feet	3	PL East	162	3
●	5' Landscape Buffer - Understory Trees 1 Per 80 Feet	3	PL East	162	3
■	5' Landscape Buffer - Canopy Trees 1 Per 40 Feet	3	PL North East	142	3
■	5' Landscape Buffer - Understory Trees 1 Per 80 Feet	3	PL North East	141	3
▲	5' Landscape Buffer - Canopy Trees 1 Per 40 Feet	3	PL North West	155	3
▲	5' Landscape Buffer - Understory Trees 1 Per 80 Feet	3	PL North West	155	3
SYMBOL	Building Requirements DESCRIPTION	QTY	Location	Length	Required Plants
◆	Building and Parking Trees	7			

Trees & Palms Planting Schedule

CANOPY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	CAL	CT	WATER	NATIVE	REMARKS
AR	11	Florida Flame Red Maple	Acer rubrum 'Florida Flame'	65 Gal	13' - 15' Ht X 5' - 7' Sprd	3.5"	5'	Low	Yes	Well Developed Specimen
MB	3	Bracken's Southern Magnolia	Magnolia grandiflora 'Brackens Brown Beauty'	65 Gal	11' Ht x 5' Sprd	3.5"		Low	Yes	Full, Well Developed Pyramidal Form Specimen Form
TD	12	Bald Cypress	Taxodium distichum	65 Gal	13' - 15' Ht X 5' - 7' Sprd	3.5"	4'	Low	Yes	
PALM TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	CAL	CT	WATER	NATIVE	REMARKS
SP	6	Cabbage Palmetto	Sabal palmetto	10' CT			See Cont	Low	Yes	Bare Root, Full Well Developed Head, single straight heavy trunk w/out boots
	7	Cabbage Palmetto	Sabal palmetto	12' CT			See Cont	Low	Yes	Bare Root, Full Well Developed Head, single straight heavy trunk w/out boots
	7	Cabbage Palmetto	Sabal palmetto	8' CT			See Cont	Low	Yes	Bare Root, Full Well Developed Head, single straight heavy trunk w/out boots
UNDERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	CAL	CT	WATER	NATIVE	REMARKS
IC	11	Dahoon Holly	Ilex cassine	30 Gal	12' x 5' - 6' Sprd	2.5"		Low	Yes	Cont. 12' x 6' sprd.; 2 1/2" cal.; single straight trunk; full head
LIP	14	Purple Crape Myrtle	Lagerstroemia fauriei 'Muskogee'	65 Gal	8' - 10' Ht X 5' Sprd			Low	Yes	Multi Trunk Tree Form, 3 - 5 Trunks

Shrub, Shrub Areas, Groundcover, & Turf Planting Schedule

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	WATER	NATIVE	SPACING	REMARKS
PM	267	Podocarpus	Podocarpus macrophyllus	10 Gal	2.5' Ht x 2' Sprd	Medium	No	24" o.c.	very full specimens
	14	Podocarpus	Podocarpus macrophyllus	15 Gal	4' Ht X 2' Min Sprd	Medium	No	24" o.c.	very full specimens
SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	WATER	NATIVE	SPACING	REMARKS
IVS	249	Schillings Holly	Ilex vomitoria 'Schillings'	3 Gal	12" x 15" OA	Low	Yes	30" o.c.	Full & Bushy Specimen
LCR	23	Plum Loropetalum	Loropetalum chinense rubrum 'Plum Delight' TM	3 Gal	15" x 18" OA	Low	Yes	30" o.c.	Full & Bushy
MG	156	Pink Muhly Grass	Muhlenbergia capillaris	3 Gal	24" Ht	Low	Yes	36" o.c.	Full & Bushy Plants
RR	63	Knockout Rose	Rosa x 'Knockout' TM	3 Gal	18" OA	Medium	No	30" o.c.	Full and bushy
ZP	280	Coontie	Zamia pumila	3 Gal	18" OA	Low	Yes	30" o.c.	Full Plants
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	WATER	NATIVE	SPACING	REMARKS
TA	371	Dwarf Asiatic Jasmine	Trachelospermum asiaticum 'Asia Minor'	6" Pot	12" - 18" Runners	Low	No	12" o.c.	5 Runners Min per pot
SOD/SEED	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	WATER	NATIVE	SPACING	REMARKS
PNS	16,499 sf	Bahia Grass	Paspalum notatum 'Argentine'	N/A	N/A	Low	No		Solid Sod from Pallets, Weed & Pest Free

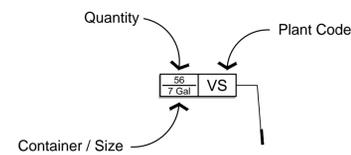
Perimeter and Foundation Landscaping

	Daytona BLVD	Debary Ave	East	PL North East	PL North West					
Buffer Length in Linear Feet	191	267	162	142	155					
Buffer Type	25'	30'	5'	5'	5'					
Perimeter Plants	Required Canopy Trees 8 Understory Trees 8 Shrubs 76.4	Provided 8 8 220	Required 16 16 133.5	Provided 16 16 247	Required 3 3 32.4	Provided 3 3 259	Required 3 3 28.4	Provided 3 3 89	Required 3 3 31	Provided 3 3 35
Foundation Plants		Required UnderStory 4 Shrubs @ 65% of 114'	Provided 4 74	4*	108					
* Canopy Trees Provided										

Plants Totals

Canopy Trees	24
Understory Trees	24
Palms	24
Shrubs	937
Groundcover	614
Preserved Specimen	5

Plant Label



Landscape Sheet Index

Sheet #	Sheet Title
Landscape Sheets	
L2.01	Planting Notes & Schedule
L2.11	Planting Plan
L2.21	Planting Details -
Irrigation Sheets	
L3.01	Irrigation Notes
L3.11	Irrigation Plan
L3.21	Irrigation Details

AE 2015.8.10
AE 2015.8.10

Update Tables
Update Tables

NO.
REVISIONS
BY
DATE

COREY J. MILLS
 RLA# 6666931
 DATE

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RACETRAC PETROLEUM, INC.
3225 CUMBERLAND BOULEVARD, SUITE 100
ATLANTA, GA 30339
(770) 431-7600

Planting Notes & Schedule
 RACETRAC #863 - Debary
 DeBary Ave. & Deltona Blvd.
 Deltona, FL

DATE 2015.5.7
 SCALE N/A
 DRAWN-BY AE
 PROJECT NUMBER: 2015.035
L2.01 1
 SHEET NO. VERSION



RaceTrac

Race

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Your Ad Go HERE!

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Frozen Yogurt Here!

BLOCKED



RIGHT EXTERIOR ELEVATION

LEFT EXTERIOR ELEVATION



REAR EXTERIOR ELEVATION



FRONT EXTERIOR ELEVATION

GENERAL NOTES

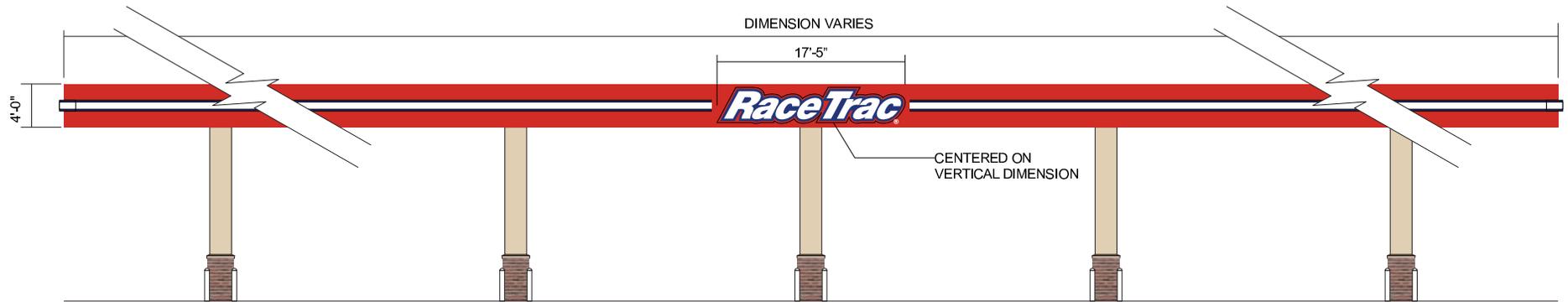
- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- PROVIDE EXPANSION JOINTS (EJ) AS LOCATED ON ELEVATIONS. CALLING SPECIFICATION FOR EXPANSION JOINTS SHALL BE "ADDSBE TAN" (EJ-2) BY TREMCO.
- MAXIMUM SPACING OF EXPANSION JOINTS ARE TO BE 20'-0" O.C.

EXTERIOR MATERIAL LEGEND

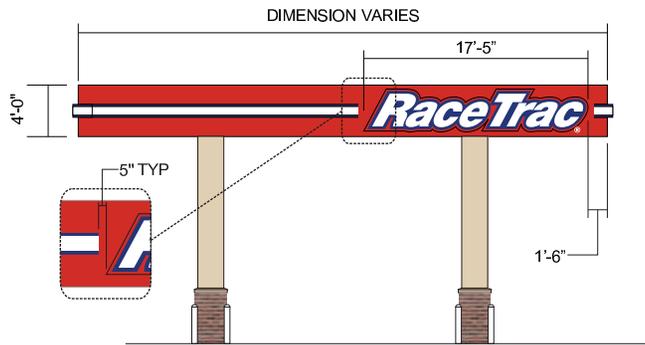
EXTERIOR MATERIAL LEGEND	
EXTERIOR PAINT	
EP-1	EXTERIOR METALS - PAINT TO MATCH ENGLERT METAL ROOF COLOR DK. BRONZE
STUCCO	
ST-1	3-COAT STUCCO SYSTEM (FINE FINISH) - 3/4" MINIMUM THICKNESS UNLESS NOTED OTHERWISE COLOR TO MATCH SHERWIN WILLIAMS #615 - INTERACTIVE CREAM
ST-2	3-COAT STUCCO SYSTEM (FINE FINISH) - 3/4" MINIMUM THICKNESS UNLESS NOTED OTHERWISE COLOR TO MATCH SHERWIN WILLIAMS #6044 - SENSATIONAL SAND
STACKED STONE	
SS-1	ASPEN COUNTRY LEDGESTONE BY BORAL (DRY STACK APPLICATION)
STONE BAND (LOWER BAND ONLY)	
SB-1	TUSCAN LINTEL CHAMPAGNE BY BORAL
AWNING	
AW-1	ALUMINUM AWNING SYSTEM - SELECTED BY OWNER
STUCCO - SYNTHETIC STUCCO (EIFS)	
EF-1	"FINE FINISH" APPLICATION COLOR TO MATCH SW # 6015 "INTERACTIVE CREAM"
EF-2	"FINE FINISH" APPLICATION COLOR TO MATCH SW # 6044 "SENSATIONAL SAND"
WINDOW SILLS	
WS-1	MOCHA WATERTABLE/SILL BY BORAL
METAL	
M-1	PREFINISHED 4" 2-PIECE COMPRESSION METAL COVER METAL TO MATCH ENGLERT METAL ROOF COLOR DARK BRONZE
M-2	1" PREFINISHED ALUMINUM COMPOSITE PANEL SYSTEM, REYNOLDS - COLOR TO MATCH ALUMINUM STOREFRONT SYSTEM
M-3	METAL TO MATCH ENGLERT METAL ROOF COLOR DARK BRONZE
M-4	VISTANALL F6-5000 OR F6-5100 IMPACT RESISTANT STOREFRONT SYSTEM PREFINISHED DARK BRONZE ANODIZED ALUMINUM AN-11022244
M-5	PREFINISHED ALUMINUM DRIP EDGE
M-6	ENGLERT METAL ROOF SYSTEM SERIES 2000, 1-3/4" HIGH STRUCTURAL SNAP LOCK STANDING SEAM WITH NO BATTEN. PANELS ARE 18" WIDE, 24 GAUGE GALVALUME WITH BAKED-ON PERMACOLOR 2000 KYNAR 500 IN SMOOTH FINISH WITH (2) 1/8" HIGH X 1/8" WIDE STYRAN RIBS TO BE SPACED TO DIVIDE INTO THREE EQUAL PARTS, COLOR TO MATCH DARK BRONZE.
GLASS - SEE A600 FOR WINDOW FRAME DIMENSIONS	
GL-1	1-1/8" IMPACT RATED INSULATED LAMINATED GLASS - CLIMATE ZONES 1 OR 2, 1/2" AT STOREFRONT 0.60 U-FACTOR, SHGC PFG02 = 0.40, PFG SOLARBAN 10 XL LOW-E #2 (STOREFRONT WINDOWS & DOORS)
GL-2	1-1/8" IMPACT RATED FROSTED INSULATED LAMINATED GLASS - CLIMATE ZONES 1 OR 2, 1/2" AT STOREFRONT 0.60 U-FACTOR, SHGC PFG02 = 0.40, PFG SOLARBAN 10 XL LOW-E #2 SATIN ETCH #4 (OUTER RESTROOM TRANSOM PANELS)
GL-3	1-1/8" IMPACT RATED FROSTED INSULATED LAMINATED GLASS - CLIMATE ZONES 1 OR 2, 1/2" AT STOREFRONT 0.60 U-FACTOR, SHGC PFG02 = 0.40, PFG SOLARBAN 10 XL SATIN ETCH #2 & BLACK CERAMIC FRIT SPANDREL #6 (CENTER RESTROOM TRANSOM PANELS; SEE DETAIL C14D ON A600 FOR WINDOW GLAZING CONFIGURATION INFORMATION)
GL-4	3/8" IMPACT RATED LAMINATED NON-INSULATED MONOLITHIC FROSTED PFG GLASS - SATIN ETCH #4 (GLASS TONERS ONLY)
LIGHTING	
EL-1	SECURITY LIGHT - SEE ELECTRICAL DRAWINGS
EL-2	DECORATIVE POLE LIGHT - SEE ELECTRICAL DRAWINGS

SEE SHEET A000 FOR NOA INFORMATION
 SEE SHEET A500 FOR ADDITIONAL MATERIALS INFO.
 SEE SHEET A600 FOR WINDOW GLAZING CONFIGURATION FOR IMPACT RATED AND NON-IMPACT RATED GLASS SYSTEM
 M.C.J. - MASONRY CONTROL JOINT; SEE DETAIL M/A124 FOR ADDITIONAL INFORMATION
 S.C.J. - STUCCO CONTROL JOINT; SEE DETAIL N/A124 FOR ADDITIONAL INFORMATION

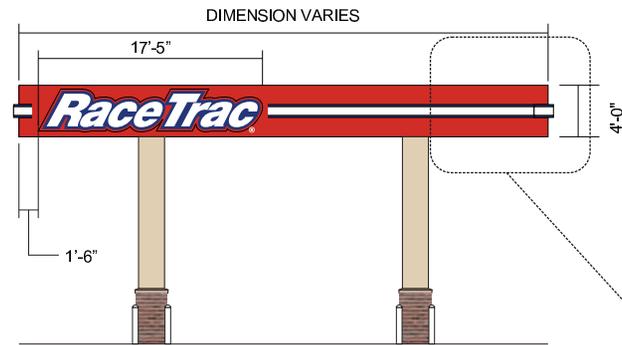
57 SF Canopy LED Cloud Sign - Red Canopy



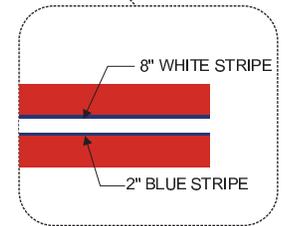
GAS CANOPY FRONT ELEVATION



LEFT SIDE VIEW - RED CANOPY



RIGHT SIDE VIEW - RED CANOPY



COLOR SCHEDULE

-  **RaceTrac Red**
To Match RGB = 216, 30, 5
-  **RaceTrac Blue**
To Match RGB = 0, 43, 127

RACETRAC #863 – DEBARY AVE

Project № 15-027.1

December 2015

(Revised)

**TRAFFIC IMPACT ANALYSIS
CITY OF DELTONA
FLORIDA**

Prepared by:



Traffic & Mobility Consultants

3101 Maguire Boulevard, Suite 265

Orlando, Florida 32803

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Prepared for:

RaceTrac Petroleum

3225 Cumberland Boulevard, Suite 100

Atlanta, Georgia 30339

EXECUTIVE SUMMARY

This traffic analysis was conducted to assess the traffic operations of the proposed RaceTrac convenience market with gas located in the northeast quadrant of the intersection of DeBary Avenue and Deltona Boulevard in the City of Deltona, Florida. The proposed project is a 5,928 square foot convenience store with 20 vehicle fueling positions.

The results of the traffic analysis are summarized as follows:

- The proposed development will generate a total of 1,704 net new daily trips, of which 82 new trips will occur in the AM peak hour and 102 new trips will occur in the PM peak hour.
- A review of roadway capacity indicates that currently all roadway segments operate within their capacities and are projected to continue to do so at project buildout.
- An analysis of intersection capacity and operations reveals that the study intersections currently operate adequately. The intersections are projected to continue to operate adequately for the projected background and project buildout.
- A review of the project access plan reveals the following:
 - The proposed access plan adequately serves the site.
 - The proposed full access driveway on Deltona Boulevard is a “Major Driveway Entrance”
 - Roadway improvements are necessary to accommodate the proposed full access on Deltona Avenue. The improvements include the addition of:
 - Northbound right-turn deceleration lane
 - Two-Way-Left-Turn lane on the road adjacent to the driveway
- An evaluation of the warrants for signal control at the intersection of Deltona Avenue and Welcome Center Drive indicate that a signal is not likely to be warranted at the intersection per the MUTCD.
- If conditions change or if significant safety considerations arise, the intersection of Welcome Center Drive and Deltona Boulevard may continue to be monitored and evaluated for future signalization.

PROFESSIONAL ENGINEERING CERTIFICATION

I hereby certify that I am a Professional Engineer properly registered in the State of Florida practicing with Traffic & Mobility Consultants, LLC, a corporation authorized to operate as an engineering business, CA-30024, by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluations, findings, opinions, conclusions, or technical advice attached hereto for:

PROJECT: RaceTrac # 863 – DeBary Ave

LOCATION: City of Deltona, Florida

CLIENT: RaceTrac Petroleum

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.

NAME: Mohammed Abdallah

P.E. No.: Florida P.E. No. 56169

DATE: December 29, 2015

SIGNATURE: _____

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1.0 INTRODUCTION

This traffic analysis was conducted to assess the traffic operations of the proposed RaceTrac gas station located in the northeast quadrant of the intersection of DeBary Boulevard and Deltona Avenue Boulevard in the City of Deltona. The proposed project is a 5,928 square foot convenience store with 20 vehicle fueling positions. **Figure 1** depicts the site location and the surrounding transportation network. The proposed site plan is included in **Appendix A**.

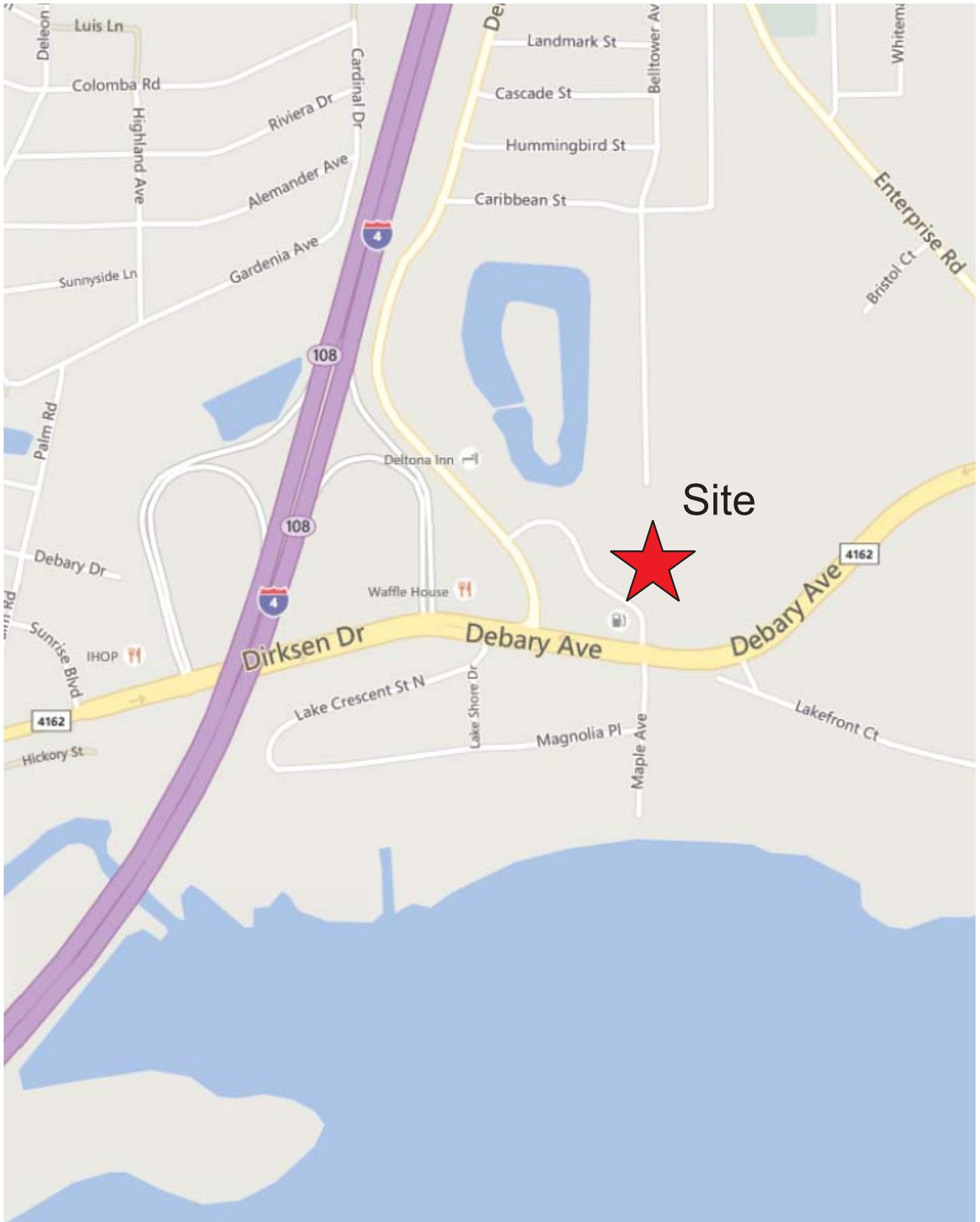
The analysis was conducted in accordance with City of Deltona requirements. The roadway segments considered in the analysis are listed in **Table 1**.

Table 1
Roadway Segments Analyzed

Roadway	Segment
DeBary Avenue	I-4 to Deltona Blvd
	Deltona Blvd to Enterprise Rd
Deltona Boulevard	DeBary Ave to Enterprise Rd

Additionally, the intersections within the project's influence area were analyzed:

1. DeBary Avenue & I-4 NB Ramps
2. DeBary Avenue & Deltona Boulevard
3. DeBary Avenue & Welcome Center Drive
4. Deltona Boulevard & Welcome Center Drive



Site



2.0 PROJECT TRAFFIC

2.1 Trip Generation

Information published by the Institute of Transportation Engineers (ITE) in the *Trip Generation Manual, 9th Edition* was used to determine the trip generation of the existing land use and the proposed development as summarized in **Table 2**. The ITE information sheets are included in **Appendix B**.

**Table 2
Trip Generation Analysis**

Description	LU Code	Quantity	Daily		AM Peak Hour Trips			PM Peak Hour Trips				
			Rate	Trips	Rate	Enter	Exit	Total	Rate	Enter	Exit	Total
Convenience w/Gas	853	5.928 KSF	845.60	5,013	40.92	122	121	243	50.92	151	151	302
<i>Convenience Store Pass-by (66%)</i>				3,309	--	81	80	161	--	100	100	200
Net New Trips				1,704	--	41	41	82	--	51	51	102

Based on this calculation, the proposed development will generate a total of 1,704 net new daily trips, of which 82 new trips will occur in the AM Peak hour and 102 new trips will occur during the PM peak hour.

2.2 Trip Distribution/Assignment

The distribution of primary project trips was developed using engineering judgment and is based on the prevailing traffic flow patterns in the vicinity of the site and on the location of related attractions and productions in the area.

The trip distribution is described as follows:

To/from West on DeBary Ave	45%
To/from East on DeBary Ave	30%
To/from North on Deltona Blvd	25%

Pass-by traffic is drawn from the existing traffic stream on DeBary Avenue and Deltona Boulevard.

3.0 CAPACITY ANALYSIS

A capacity analysis was conducted for the roadway segments and intersections within the project's influence area. The analysis was prepared for existing traffic, projected background traffic, and projected traffic with proposed development.

3.1 Existing and Projected Background Traffic

Existing traffic volume counts were obtained at the study intersections during the AM and PM peak hours. The FDOT seasonal adjustment factor is 1.0 for the time period of the count, therefore, the data did not require seasonal adjustment. The volume at the intersection of Welcome Center Drive and Deltona Boulevard was adjusted to balance the volume with the volume at the adjacent intersection. The existing volumes are illustrated in **Figures 2 and 3**. Existing PM peak hour segment volumes were calculated from the intersection volumes.

A review of historical traffic growth on DeBary Avenue and Deltona Boulevard indicates that traffic volumes have been decreasing consistently over the past few years and through the year 2015. Therefore, to project 2016 background traffic, a conservative 2% annual growth rate was applied to existing traffic volumes. Historical traffic volumes are included in **Appendix C**.

3.2 Roadway Segment Analysis

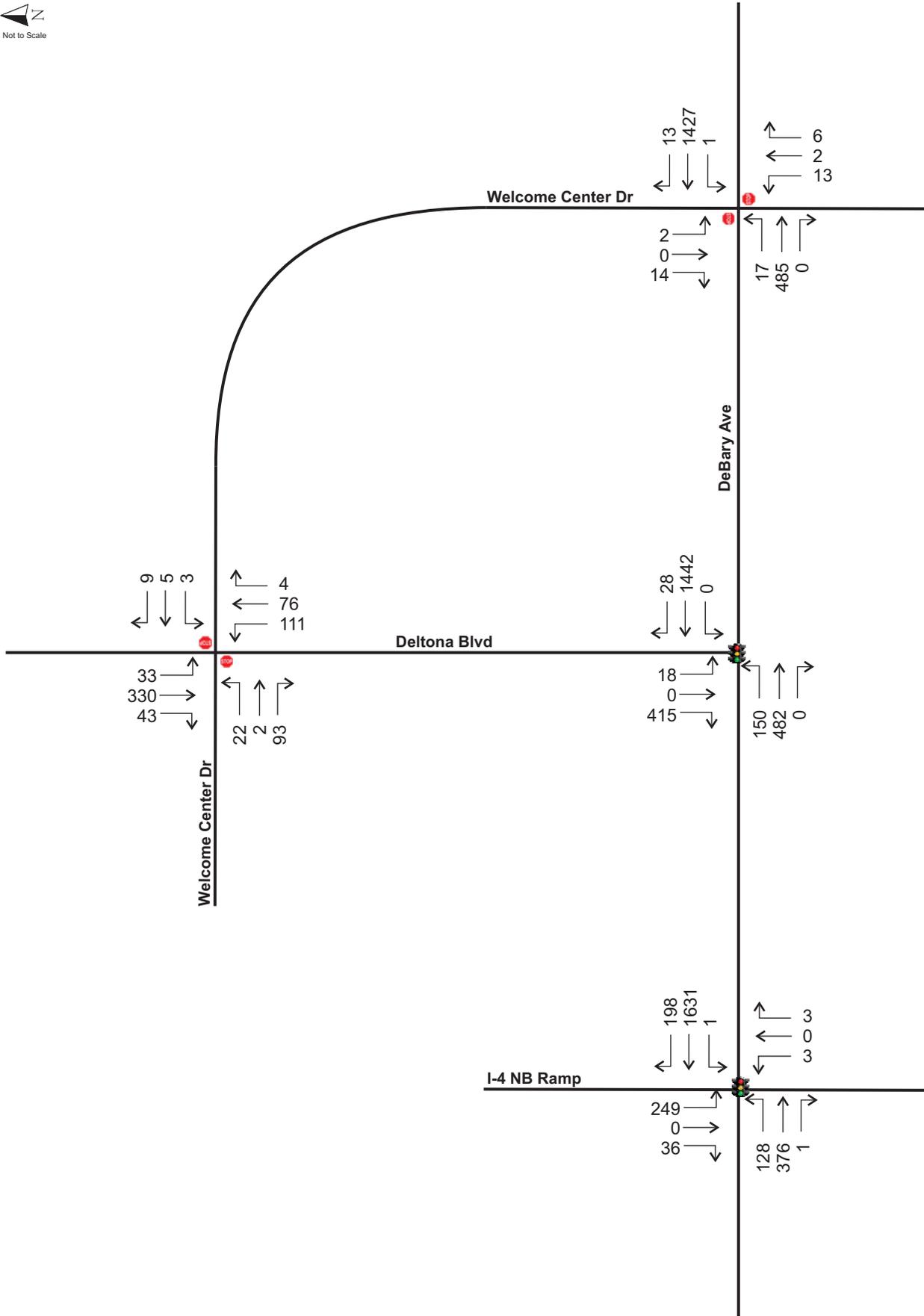
Roadway segment capacity was analyzed by comparing the traffic volumes on the study roadway segments to the service volumes at the adopted Level of Service (LOS) standard. The roadway segment analysis is summarized in **Table 3**.

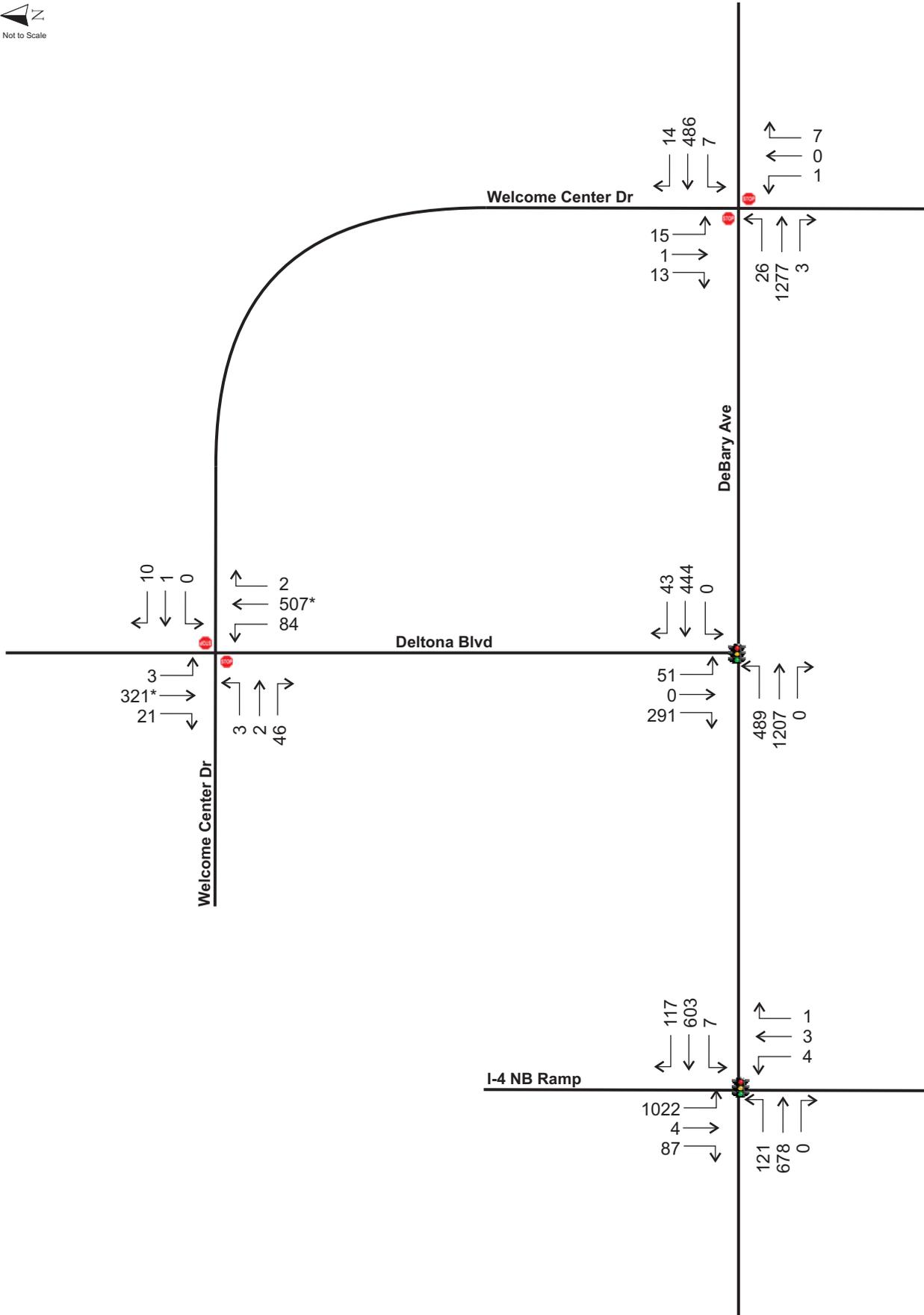
**Table 3
Segment Capacity Analysis**

Roadway	Segment	# of Lns	Max Service Volume	Existing		Projected Backg'd		Project Trips		Total Projected	
				Volume	Deficient (Yes/No)?	Peak Hr	Deficient (Yes/No)?	Distrib (%)	Volume	Volume	Deficient (Yes/No)?
DeBary Ave	I-4 to Deltona Blvd	4	2,740	2,431	No	2,480	No	45%	46	2,526	No
	Deltona Blvd to Enterprise Rd	4	2,740	1,813	No	1,849	No	30%	31	1,880	No
Deltona Blvd	DeBary Ave to Enterprise Rd	2	1,330	874	No	891	No	25%	26	917	No

Existing Volumes were obtained from intersection volume counts

The results of the analysis indicate that all the study roadway segments currently operate within their adopted capacity and are projected to continue to do so at project buildout.





* Volume was reduced to balance intersections

3.3 Proposed Access Plan

The proposed access plan includes two full access driveways, one on Welcome Center Drive and one on Deltona Boulevard. The site will not have direct access to the DeBary Avenue.

Welcome Center Drive Access

A driveway is proposed on Welcome Center Drive, which is a local access road located to the east of the site. The full access driveway will provide low volume/secondary access to DeBary Avenue and to Deltona Boulevard via Welcome Center Drive. Other than improvements associated with the driveway construction, no capacity improvements are anticipated or recommended at this driveway.

Deltona Boulevard Access

A full access driveway is proposed on Deltona Boulevard. The location of the driveway is approximately 250 feet north of the signal at DeBary Avenue. The driveway will serve as the primary point of ingress and egress to the site. It should be noted that the proposed driveway configuration/geometry will meet the City's requirements for a "Major Driveway Entrance".

Due to the proximity of the driveway to the signalized intersection at DeBary Boulevard, offsite improvements to the roadway adjacent to the site are recommended to minimize the influence of the access point on traffic operations. The recommended offsite improvements are outlined as follows and are depicted in **Figure 4**:

- Construct a northbound right turn deceleration lane at the project driveway. The right turn lane will remove project trips from the through and merge lane existing on Deltona Boulevard and reduce friction in traffic departing the intersection.
- Construct a Two-Way-Left-Turn-Lane (TWLTL) on Deltona Avenue between Welcome Center Drive and DeBary Avenue. The TWLTL will allow for variable queue management at the three intersections on the segment and will remove all left turning traffic from the path of the southbound right turning traffic. The improvement significantly increases the capacity and operational integrity of the southbound right turn movement. Additionally, the turn lane provides a refuge for traffic turning left out of the proposed RaceTrac site, which improves the safety and capacity of the exiting left turn movement.

3.4 Intersection Analysis

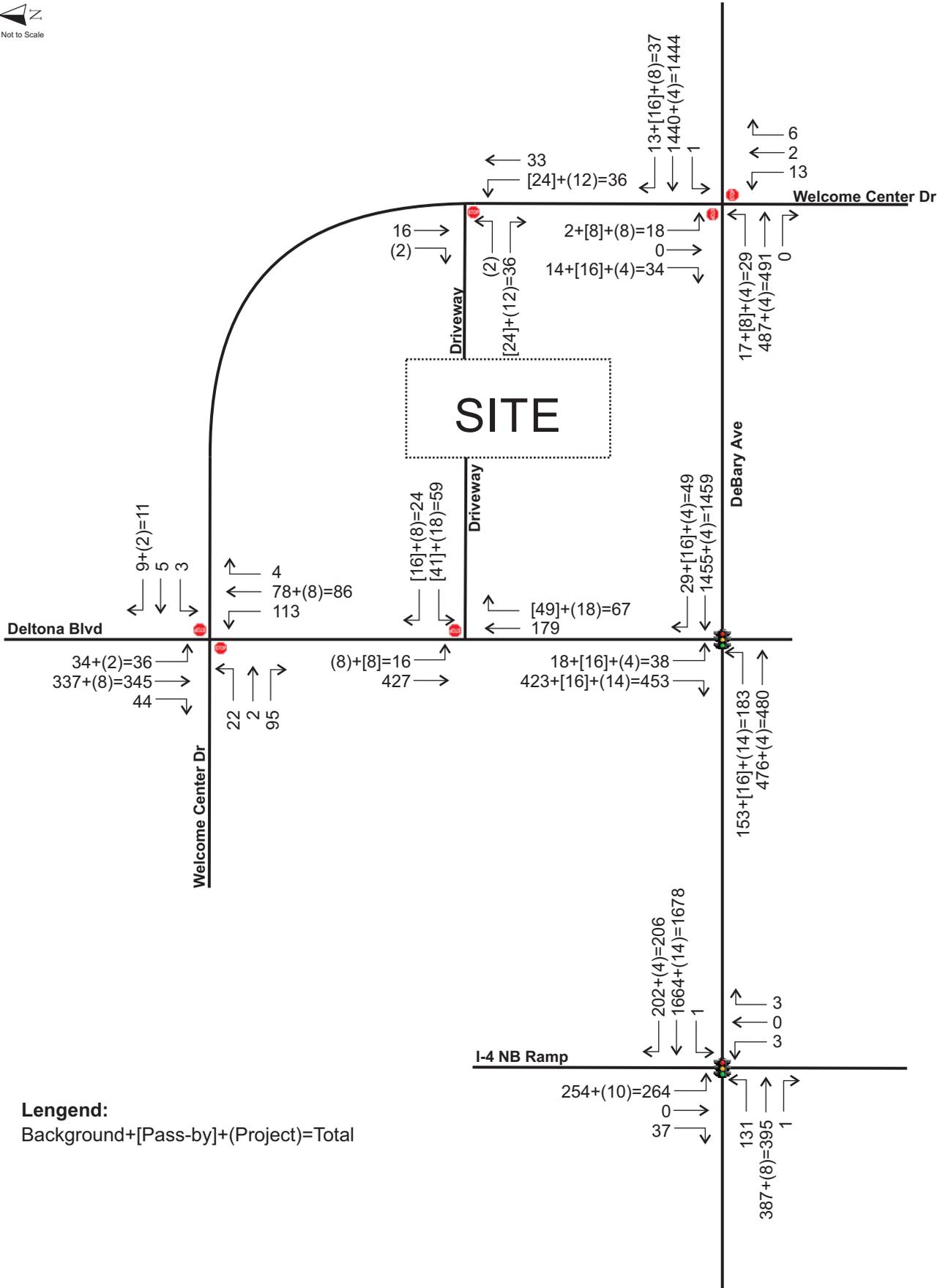
An intersection analysis was conducted using the *Synchro* software and the methods of the *Highway Capacity Manual (HCM) 2010*. The capacity analysis was performed using the existing and projected traffic volumes during the AM and PM peak hour. Existing turning movement counts were obtained at the study intersections and adjusted using an annual growth rate of 2%. **Figures 5 and 6** illustrate the projected AM and PM peak hour volumes, respectively.

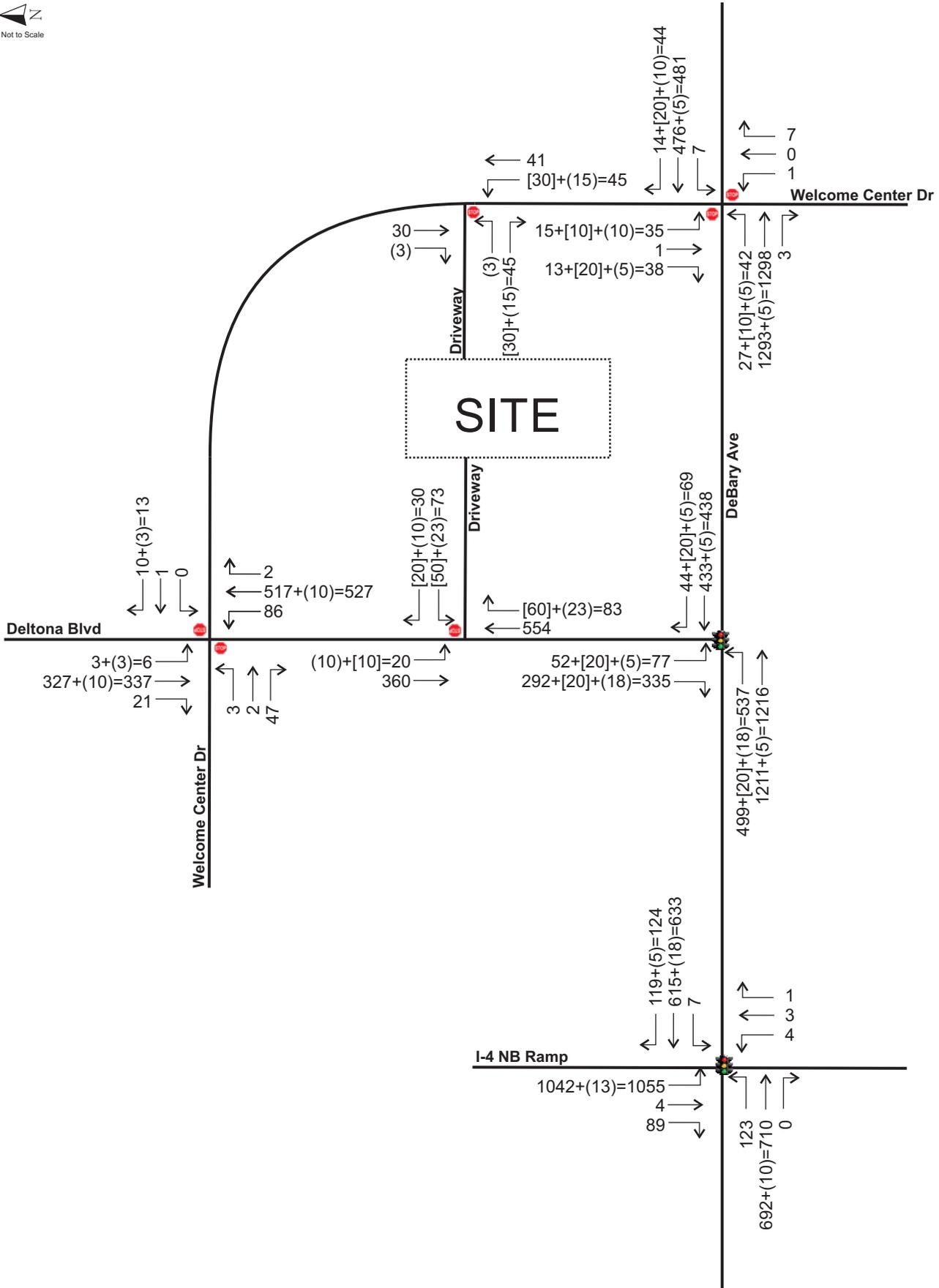
A summary of the intersection capacity analysis is provided in **Table 4**. This analysis indicates that all the study intersections and the project's access points operate at satisfactory LOS and are projected to continue to do so at project buildout. It is noted that the southbound approach to the intersection of DeBary Avenue and Deltona Boulevard operates at LOS F due to the delay experienced by the significant right turn volume toward I-4. The intersection counts are included in **Appendix D** and the detailed capacity analysis worksheets are included in **Appendix E**.

Table 4
Intersection Capacity Analysis

Intersection	Control	Analysis	EB		WB		NB		SB		Overall	
			Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
AM Peak Hour												
DeBary Ave & I4 NB Ramps	Signal	Existing	8.6	A	3.4	A	73.0	E	76.8	E	13.1	B
		Projected	8.7	A	3.9	A	73.0	E	79.6	E	13.3	B
DeBary Ave & Deltona Blvd	Signal	Existing	6.6	A	17.7	B	--	--	122.8	F	28.2	C
		Projected	8.9	A	18.3	B	--	--	149.7	F	34.3	C
DeBary Ave & Welcome Ctr	Stop	Existing	13.9	B	8.5	A	20.7	C	19.3	C	--	--
		Projected	14.6	B	8.5	A	22.9	C	30.6	D	--	--
Deltona Blvd & Welcome Ctr	Stop	Existing	12.3	B	12.8	B	8.3	A	7.4	A	--	--
		Projected	12.6	B	12.8	B	8.3	A	7.5	A	--	--
Deltona Blvd & Driveway	Stop	Projected	--	--	12.1	B	--	--	7.6	A	--	--
Welcome Center & Driveway	Stop	Projected	8.6	A	--	--	7.3	A	--	--	--	--
PM Peak Hour												
DeBary Ave & I4 NB Ramps	Signal	Existing	28.9	C	54.9	D	49.3	D	43.6	D	41.7	D
		Projected	29.8	C	57.0	E	49.6	D	47.1	D	44.0	D
DeBary Ave & Deltona Blvd	Signal	Existing	1.8	A	41.1	D	--	--	19.8	B	17.5	B
		Projected	9.6	A	44.3	D	--	--	23.2	C	18.1	B
DeBary Ave & Welcome Ctr	Stop	Existing	8.6	A	12.4	B	17.3	C	16.7	C	--	--
		Projected	8.9	A	12.3	B	18.0	C	31.9	D	--	--
Deltona Blvd & Welcome Ctr	Stop	Existing	11.6	B	12.5	B	8.1	A	8.4	A	--	--
		Projected	11.8	B	12.6	B	8.2	A	8.5	A	--	--
Deltona Blvd & Driveway	Stop	Projected	--	--	15.1	C	--	--	8.7	A	--	--
Welcome Center & Driveway	Stop	Projected	8.7	A	--	--	7.4	A	--	--	--	--

Average delay is expressed in Seconds/Vehicle





4.0 SIGNAL WARRANT EVALUATION

The intersection of Welcome Center Drive and Deltona Avenue provides access to multiple properties along Deltona Avenue. The Deltona Avenue approaches are fully improved with left turn and right turn deceleration lanes, with a single through lane in each direction. The minor approaches provide dedicated left/through lanes and right turn lanes at the intersection.

A signal warrant evaluation was performed for the intersection based on the observed and projected peak hour volumes. This review is intended to assess the likelihood that signal control would be warranted at this relatively low volume intersection in accordance with the requirements of the Manual on Uniform Traffic Control Devices (MUTCD).

Applicable volume warrants that would be assessed in full signal warrant analysis are described as follows:

4.1 Warrant 1 – 8-hour Volume Warrant (Conditions A & B)

Warrant 1, Condition A – “intended for application at locations where a large volume of intersecting traffic is the principal reason to consider installing a traffic control signal.” This warrant is not likely to be satisfied at this intersection since the minor street volumes are relatively low during day. For the 35 mph roadway, the required number of intersecting vehicles is:

Condition	Total Major Approaches	Highest Minor Approach
A	500 vph	200 vph

This minimum requirement would have to be met for 8 hours out of the typical day. At the subject intersection the highest intersecting volume is projected to be 628 vph on Deltona Avenue (major approaches) and 119 vph at the McDonald’s driveway (minor approach).

Since the peak hour volume does not meet the minimum required traffic volume threshold for Warrant 1, Condition A, it is likely that there are no hours during the day that would satisfy the minimum thresholds. Therefore, Warrant 1 - Condition A is **not met** at this intersection.

Warrant 1, Condition B – “intended for application at locations where Condition A is not satisfied and where the traffic volume on a major street is so heavy that traffic on a minor intersecting street suffers excessive delay or conflict in entering or crossing the major street.” This warrant is not likely to be satisfied at this intersection since the minor street volumes are relatively low during day. For the 35 mph roadway, the required number of intersecting vehicles is:

Condition	Total Major Approaches	Highest Minor Approach
B	900 vph	100 vph

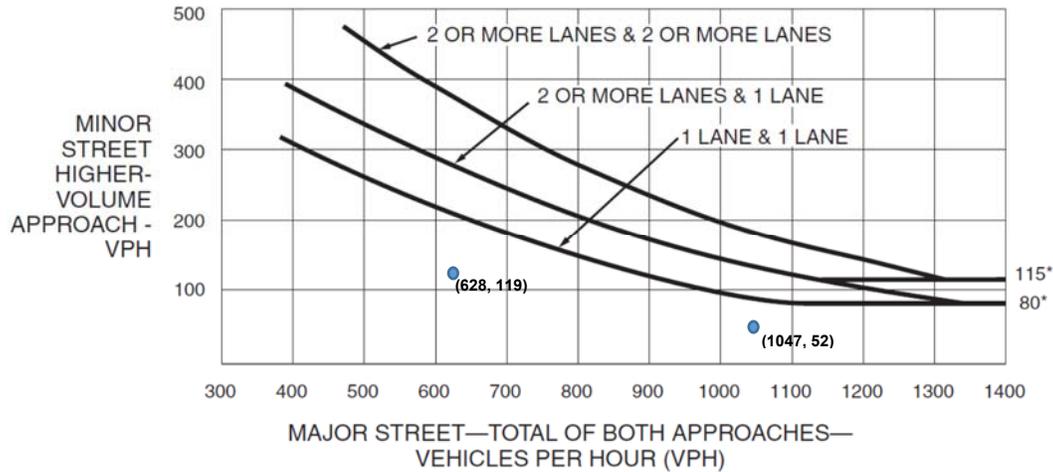
This minimum requirement would have to be met for 8 hours out of the typical day. As stated above, the peak hour volumes are projected to be 628 vph on Deltona Avenue and 119 vph at the McDonald’s driveway.

Since the peak hour volume does not meet the minimum required traffic volume threshold for Warrant 1, Condition B, it is likely that there are no hours during the day that would satisfy the minimum thresholds. Therefore, Warrant 1 - Condition B is **not met** at this intersection.

4.2 Warrant 2 – 4- hour Volume Warrant

Warrant 2 – “intended to be applied where the volume of intersecting traffic is the principal reason to consider installing a traffic control signal.” The warrant is met if for four hours during the typical day, the intersecting traffic volumes exceed the threshold graph illustrated below and obtained from **MUTCD Figure 4C-1**. The projected AM and PM peak hours were graphed on the chart for illustration of the highest two hours of the day as compared to the warrant thresholds, established as the middle curve “2 or more lanes & 1 lane”. It is clear from this illustration that the projected volumes at the intersection will not exceed the required thresholds, therefore, Warrant 2 is **not met**.

Warrant 2 - Thresholds Chart



4.3 Warrant 3 – Peak Hour Volume Warrant

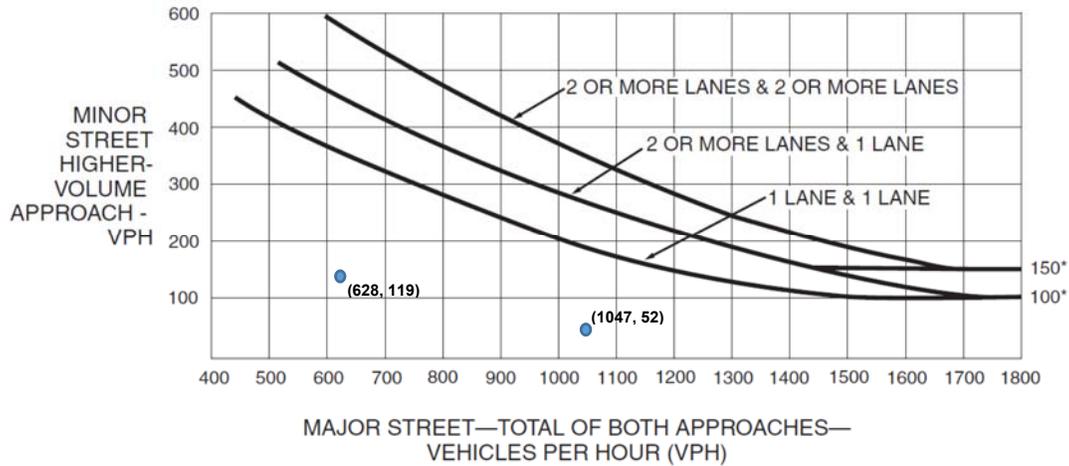
Warrant 3 – “intended for use at a location where traffic conditions are such that for a minimum of 1 hour of an average day, the minor-street traffic suffers undue delay when entering or crossing the major street.” In order to be met, this warrant requires that the location is a high peaking facility that “attract or discharge large numbers of vehicles over a short period of time”. Although this intersection does not qualify as an “unusual case”, the volumes were checked to understand if the traffic volumes would meet the warrant thresholds.

The warrant is met if the following three conditions are met for the peak hour:

- The intersection serves 800 vehicles per hour or more
- The minor approach experiences more than 5 vehicle-hours of delay
- The intersecting volumes exceed the threshold

The projected highest hour is graphed as compared to the warrant thresholds from **MUTCD Figure 4C-3**, established as the middle curve “2 or more lanes & 1 lane”. It is evident that the intersection does not meet all of these conditions during the peak hour. Therefore, Warrant 3 is **not met**.

Warrant 3 - Threshold Chart



4.4 Summary of Warrant Evaluation

The signal warrant evaluation based on the warrant thresholds of the MUTCD yields the following results:

Warrant 1 – Not Met

Warrant 2 – Not Met

Warrant 3 – Not Met

Based on this assessment it is not likely that signal control will be warranted at the intersection of Deltona Avenue and Welcome Center Drive under the projected traffic volumes. Further growth and additional increases in traffic volumes or if a significant safety issue materialize at the intersection, a signal may become warranted and necessary.

Therefore, it is recommended that the intersection remain under two-way stop control and continue to be monitored for signal warrants as conditions change in the future.

5.0 STUDY CONCLUSIONS

This traffic analysis was conducted to assess the traffic operations of the proposed RaceTrac convenience market with gas located in the northeast quadrant of the intersection of DeBary Avenue and Deltona Boulevard in the City of Deltona, Florida. The proposed project is a 5,928 square foot convenience store with 20 vehicle fueling positions. The analysis included a determination of project trip generation, a review of existing and projected roadway and intersection capacity, and a review of the proposed site access plan.

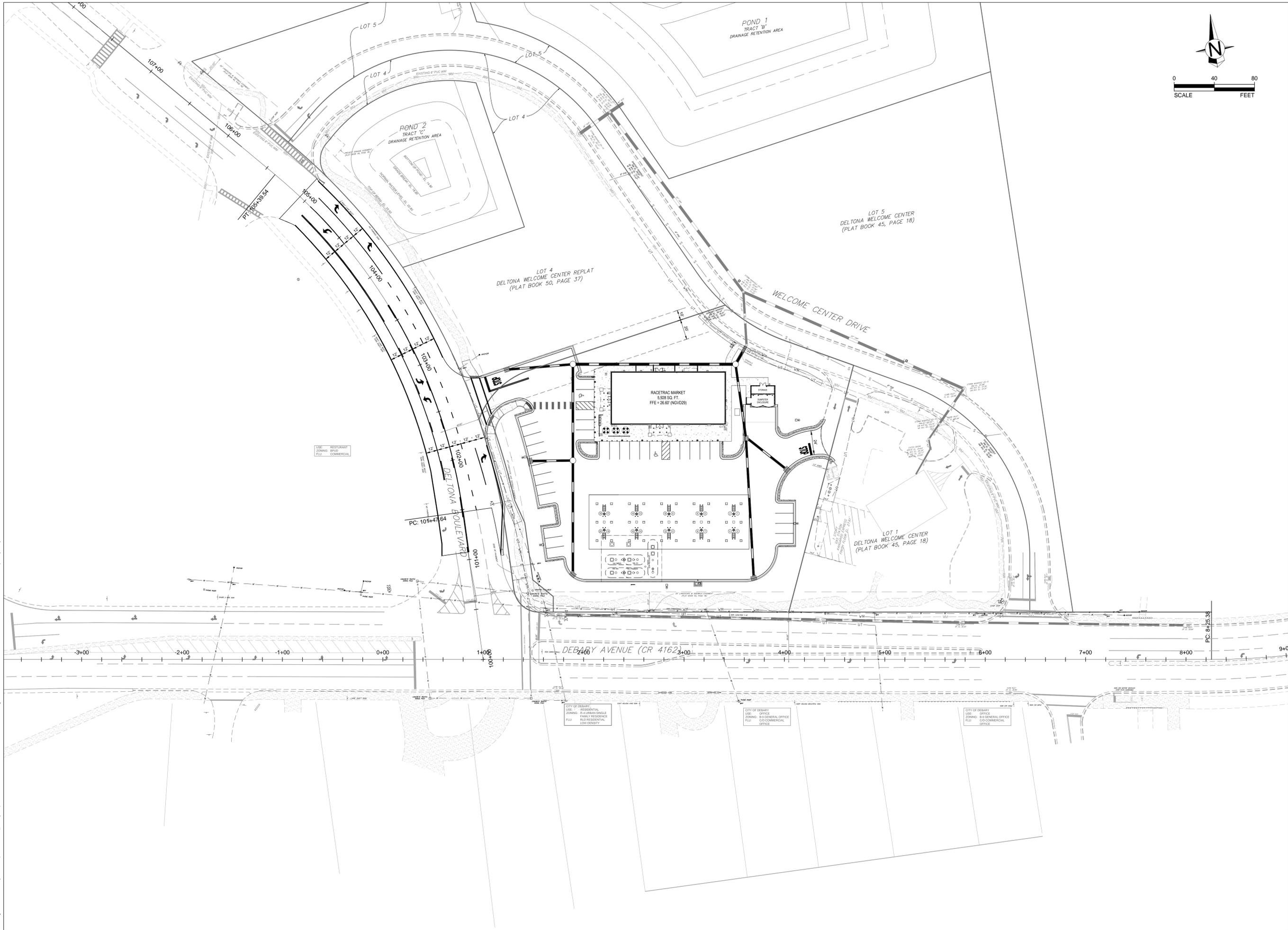
The results of the traffic analysis are summarized as follows:

- The proposed development will generate a total of 1,704 net new daily trips, of which 82 new trips will occur in the AM peak hour and 102 new trips will occur in the PM peak hour.
- A review of roadway capacity indicates that currently all roadway segments operate within their capacities and are projected to continue to do so at project buildout.
- An analysis of intersection capacity and operations reveals that the study intersections currently operate adequately. The intersections are projected to continue to operate adequately for the projected background and project buildout.
- A review of the project access plan reveals the following:
 - The proposed access plan adequately serves the site.
 - The proposed full access driveway on Deltona Boulevard is a “Major Driveway Entrance”
 - Roadway improvements are necessary to accommodate the proposed full access on Deltona Avenue. The improvements include the addition of:
 - Northbound right-turn deceleration lane
 - Two-Way-Left-Turn lane on the road adjacent to the driveway
- An evaluation of the warrants for signal control at the intersection of Deltona Avenue and Welcome Center Drive indicate that a signal is not likely to be warranted at the intersection per the MUTCD.
- If conditions change or if significant safety considerations arise, the intersection of Welcome Center Drive and Deltona Boulevard may continue to be monitored and evaluated for future signalization.

APPENDICES

Appendix A
Proposed Site Plan

Drawing name: Z:\2014 Projects\12730 (RaceTrac) 8836 DeBary Aerial\DEBARY\ROADWAY IMPROVEMENTS - FINAL.dwg ROADWAY IMPROVEMENTS - FOR TRAFFIC STUDY Nov 19, 2015 1:46pm by Andy



1					
SHEET NO.	REV.	NO.	REVISIONS	BY	DATE
POTENTIAL ROADWAY IMPROVEMENTS RACETRAC MARKET RACETRAC #836 AS NOTED T&S					
SITE	DATE	JOB NO.			
SCALE	8/10/2015	10730			
DRAWN	TAS	TAS			
RACETRAC PETROLEUM, INC. 3225 CUMBERLAND BOULEVARD SUITE 100 ATLANTA, GA 30339 (770) 431-7600					
Know what's below. Call before you dig.					
THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESS WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.					
PDS TRAFFIC ENGINEERING DATA SOLUTIONS, INC. Phone: 386.753.0558 80 Spring Vista Drive Fax: 386.753.0778 DeBary, FL 32713 CERTIFICATE OF AUTHORIZATION NO. 27592					

Appendix B
ITE Information Sheets

Convenience Market with Gasoline Pumps (853)

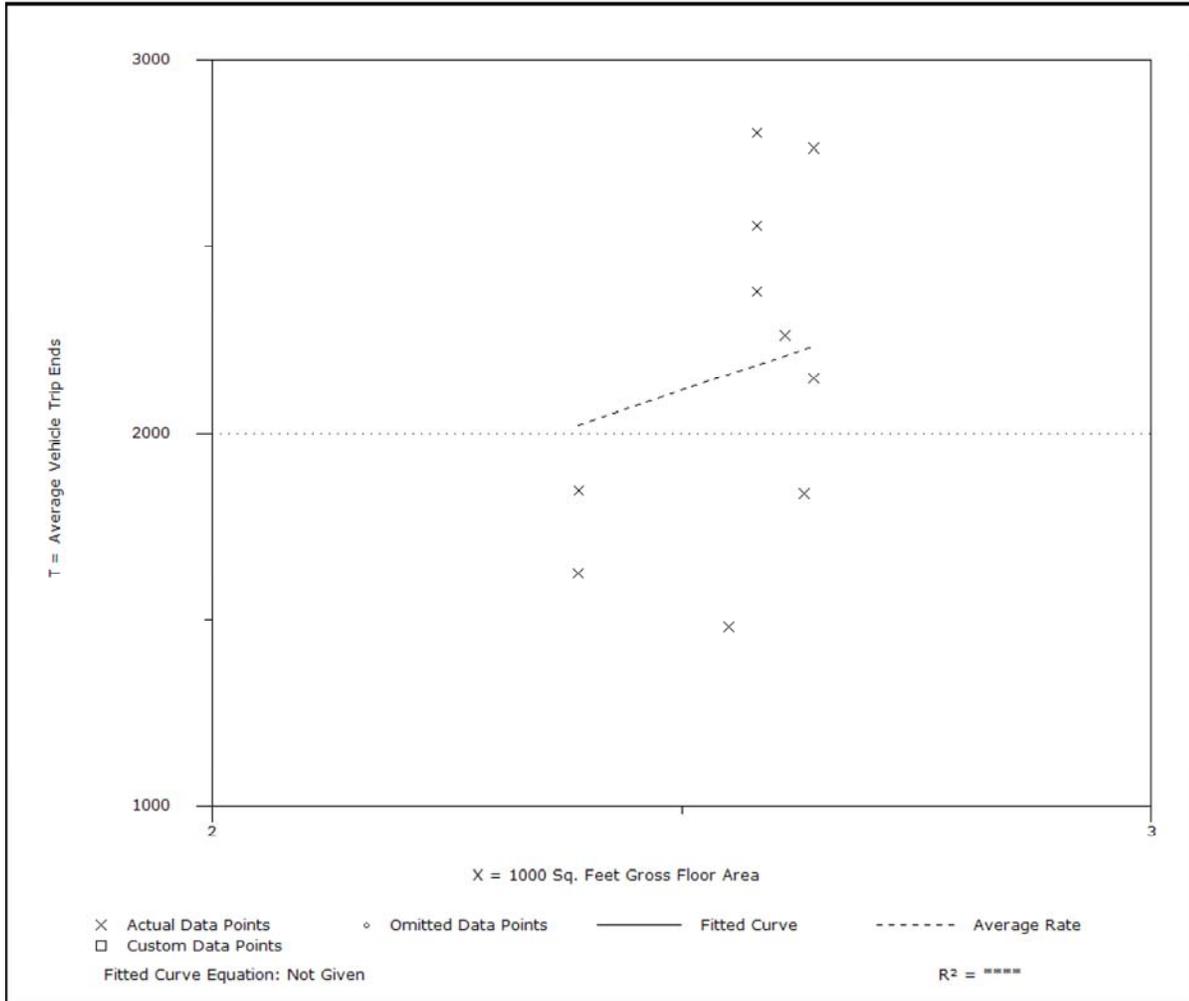
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday

Number of Studies: 10
Average 1000 Sq. Feet GFA: 3
Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
845.60	578.52 - 1,084.72	163.67

Data Plot and Equation



Trip Generation, 9th Edition

Convenience Market with Gasoline Pumps (853)

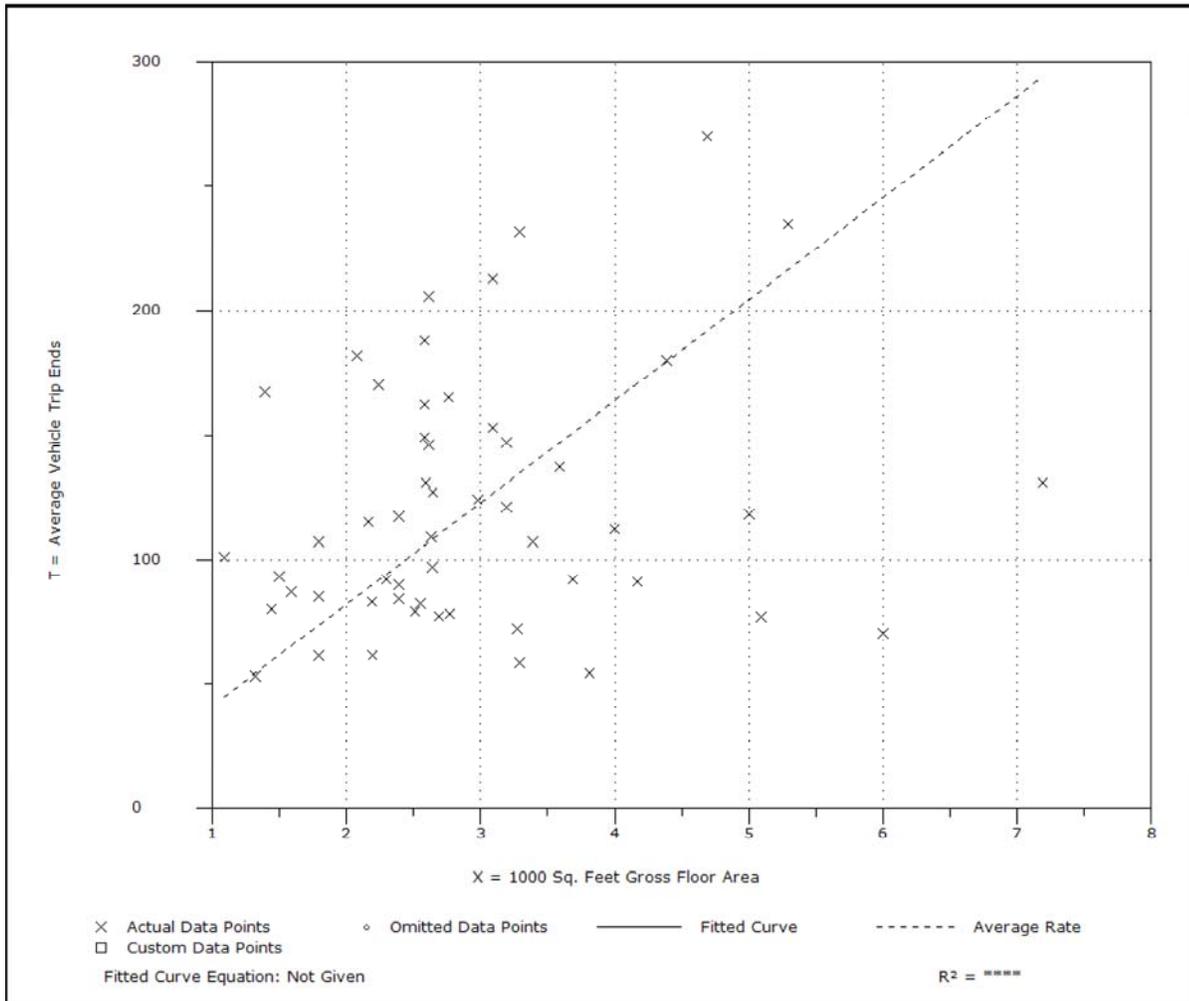
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday
Peak Hour of Adjacent Street Traffic
One Hour Between 7 and 9 a.m.

Number of Studies: 53
 Average 1000 Sq. Feet GFA: 3
 Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
40.92	11.67 - 119.29	20.75

Data Plot and Equation



Trip Generation, 9th Edition

Convenience Market with Gasoline Pumps (853)

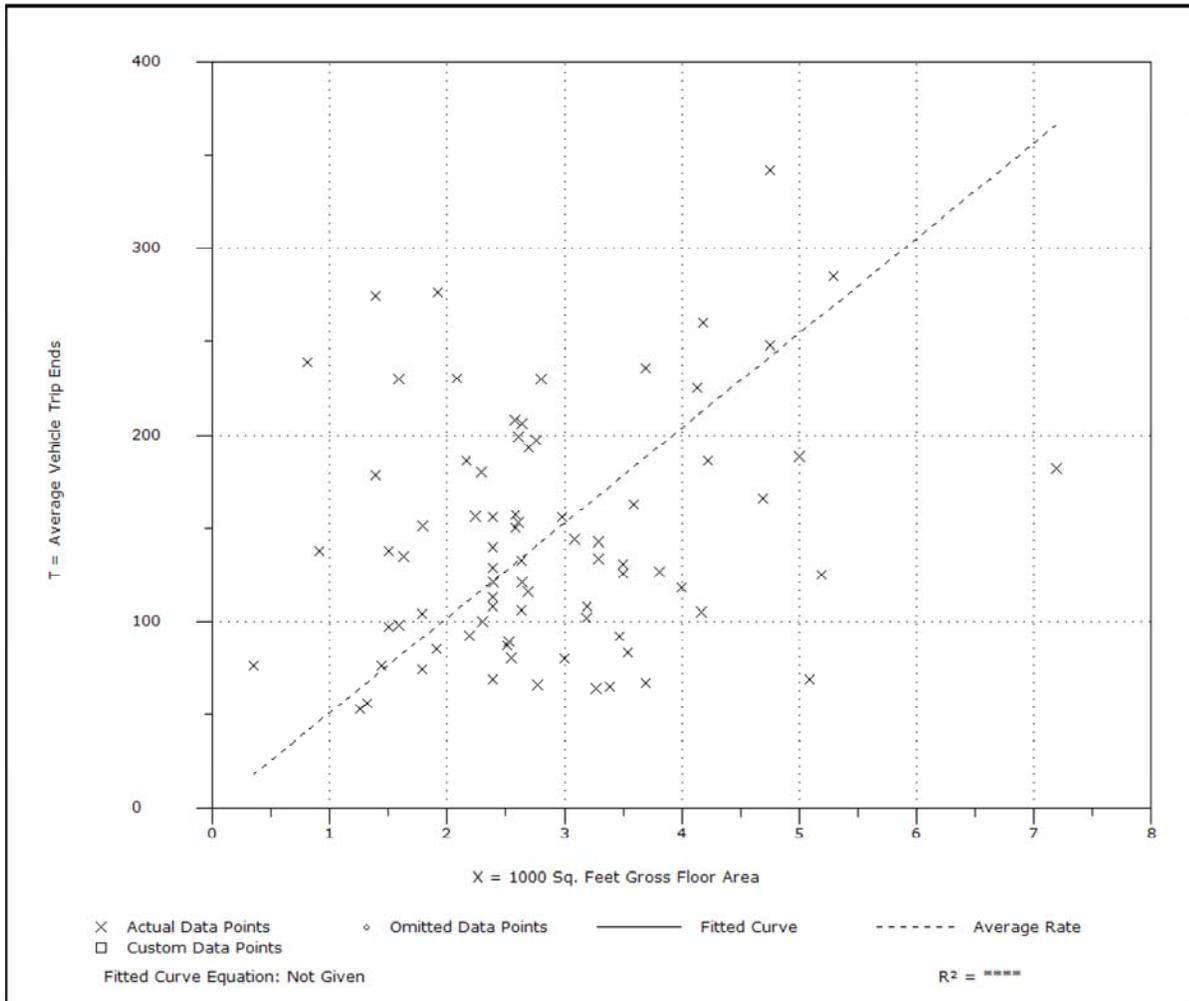
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday
Peak Hour of Adjacent Street Traffic
One Hour Between 4 and 6 p.m.

Number of Studies: 78
 Average 1000 Sq. Feet GFA: 3
 Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
50.92	13.53 - 292.89	32.15

Data Plot and Equation



Trip Generation, 9th Edition

Appendix C
Historical Volumes & Seasonal Factors

2012 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 7900 VOLUSIA COUNTYWIDE

MOCF: 0.95

WEEK	DATES	SF	PSCF
1	01/01/2012 - 01/07/2012	1.01	1.07
2	01/08/2012 - 01/14/2012	1.00	1.06
3	01/15/2012 - 01/21/2012	1.00	1.06
4	01/22/2012 - 01/28/2012	0.98	1.04
* 5	01/29/2012 - 02/04/2012	0.97	1.03
* 6	02/05/2012 - 02/11/2012	0.95	1.00
* 7	02/12/2012 - 02/18/2012	0.94	0.99
* 8	02/19/2012 - 02/25/2012	0.93	0.98
* 9	02/26/2012 - 03/03/2012	0.93	0.98
*10	03/04/2012 - 03/10/2012	0.93	0.98
*11	03/11/2012 - 03/17/2012	0.92	0.97
*12	03/18/2012 - 03/24/2012	0.93	0.98
*13	03/25/2012 - 03/31/2012	0.94	0.99
*14	04/01/2012 - 04/07/2012	0.95	1.00
*15	04/08/2012 - 04/14/2012	0.96	1.01
*16	04/15/2012 - 04/21/2012	0.97	1.03
*17	04/22/2012 - 04/28/2012	0.98	1.04
18	04/29/2012 - 05/05/2012	0.99	1.05
19	05/06/2012 - 05/12/2012	1.00	1.06
20	05/13/2012 - 05/19/2012	1.01	1.07
21	05/20/2012 - 05/26/2012	1.02	1.08
22	05/27/2012 - 06/02/2012	1.02	1.08
23	06/03/2012 - 06/09/2012	1.02	1.08
24	06/10/2012 - 06/16/2012	1.03	1.09
25	06/17/2012 - 06/23/2012	1.03	1.09
26	06/24/2012 - 06/30/2012	1.04	1.10
27	07/01/2012 - 07/07/2012	1.04	1.10
28	07/08/2012 - 07/14/2012	1.04	1.10
29	07/15/2012 - 07/21/2012	1.05	1.11
30	07/22/2012 - 07/28/2012	1.05	1.11
31	07/29/2012 - 08/04/2012	1.05	1.11
32	08/05/2012 - 08/11/2012	1.05	1.11
33	08/12/2012 - 08/18/2012	1.05	1.11
34	08/19/2012 - 08/25/2012	1.05	1.11
35	08/26/2012 - 09/01/2012	1.04	1.10
36	09/02/2012 - 09/08/2012	1.04	1.10
37	09/09/2012 - 09/15/2012	1.04	1.10
38	09/16/2012 - 09/22/2012	1.03	1.09
39	09/23/2012 - 09/29/2012	1.02	1.08
40	09/30/2012 - 10/06/2012	1.01	1.07
41	10/07/2012 - 10/13/2012	1.00	1.06
42	10/14/2012 - 10/20/2012	0.99	1.05
43	10/21/2012 - 10/27/2012	1.00	1.06
44	10/28/2012 - 11/03/2012	1.00	1.06
45	11/04/2012 - 11/10/2012	1.00	1.06
46	11/11/2012 - 11/17/2012	1.00	1.06
47	11/18/2012 - 11/24/2012	1.01	1.07
48	11/25/2012 - 12/01/2012	1.01	1.07
49	12/02/2012 - 12/08/2012	1.01	1.07
50	12/09/2012 - 12/15/2012	1.01	1.07
51	12/16/2012 - 12/22/2012	1.01	1.07
52	12/23/2012 - 12/29/2012	1.00	1.06
53	12/30/2012 - 12/31/2012	1.00	1.06

* PEAK SEASON

08-FEB-2013 12:30:05

830UPD [1,0,0,1]

5_7900_PKSEASON.TXT

Site Information	
Feature	1
Site	792042
Description	I-4, RAMP FROM DIRKSON DR. TO I-4 EB
Section	79110007
Milepoint	0.1
AADT	2800
Site Type	Portable
Class Data	No
K Factor	8.4
D Factor	99.9
T Factor	4.4
TRAFFIC REPORTS (provided in  format)	
Volusia County	Annual Average Daily Traffic
	Historical AADT Data
	Synopsis 792042-20140716

Print this window.

Close this window.

Appendix D
Intersections Traffic Volume

TURNING MOVEMENT COUNT ANALYSIS
AUTOS & TRUCKS

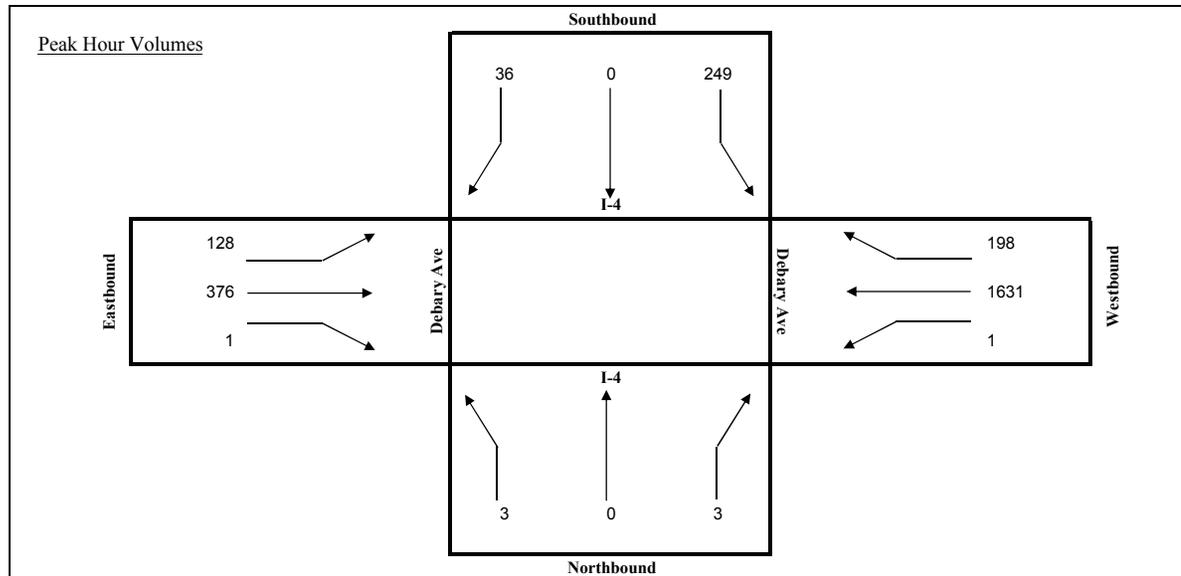
Intersection (N/S): I-4

Intersection (E/W): Debary Ave

Date: 5/7/2015

Start	End	I-4			I-4			Debary Ave			Debary Ave			TOTAL
		L	T	R	L	T	R	L	T	R	L	T	R	
7:00 AM	7:15 AM	3	0	2	37	0	2	28	59	0	1	422	37	591
7:15 AM	7:30 AM	1	0	0	61	0	8	25	96	0	0	444	40	675
7:30 AM	7:45 AM	1	0	1	55	0	6	33	88	1	1	389	51	626
7:45 AM	8:00 AM	0	0	0	70	0	12	29	105	0	0	420	48	684
8:00 AM	8:15 AM	1	0	2	63	0	10	41	87	0	0	378	59	641
8:15 AM	8:30 AM	0	0	1	59	0	9	30	66	1	1	359	47	573
8:30 AM	8:45 AM	1	0	1	72	0	17	33	49	0	1	303	36	513
8:45 AM	9:00 AM	1	0	0	51	0	11	36	51	1	2	275	32	460

Total for:	7:00 AM	8:00 AM	5	0	3	223	0	28	115	348	1	2	1675	176	2576
Total for:	8:00 AM	9:00 AM	3	0	4	245	0	47	140	253	2	4	1315	174	2187
Tota Peak Hour:	7:15 AM	8:15 AM	3	0	3	249	0	36	128	376	1	1	1631	198	2626
Overall PHF:	0.96														



**TURNING MOVEMENT COUNT ANALYSIS
AUTOS & TRUCKS**

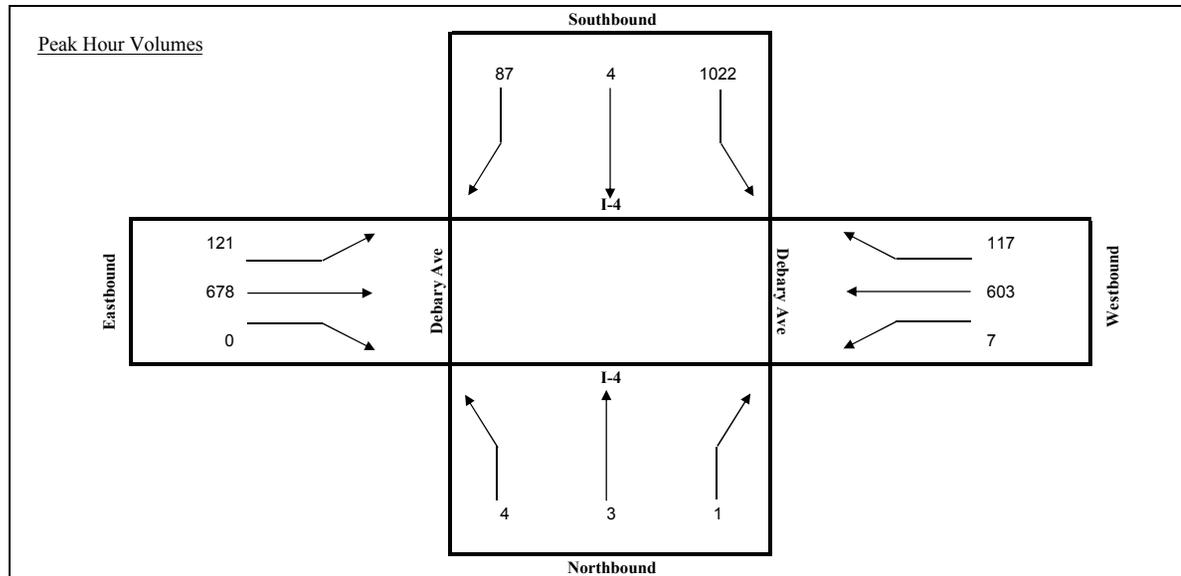
Intersection (N/S): I-4

Intersection (E/W): Debary Ave

Date: 5/7/2015

Start	End	I-4			I-4			Debary Ave			Debary Ave			TOTAL
		L	T	R	L	T	R	L	T	R	L	T	R	
4:00 PM	4:15 PM	1	1	0	259	2	23	24	103	0	2	130	37	582
4:15 PM	4:30 PM	1	0	1	268	0	28	27	108	0	2	122	29	586
4:30 PM	4:45 PM	2	1	1	246	1	33	25	111	0	6	137	31	594
4:45 PM	5:00 PM	0	0	0	222	1	25	30	133	0	1	155	30	597
5:00 PM	5:15 PM	1	2	0	243	2	22	25	175	0	3	141	28	642
5:15 PM	5:30 PM	2	1	1	291	0	22	36	169	0	1	163	32	718
5:30 PM	5:45 PM	1	0	0	266	1	18	30	201	0	2	144	27	690
5:45 PM	6:00 PM	0	1	1	205	0	10	27	166	0	3	137	36	586

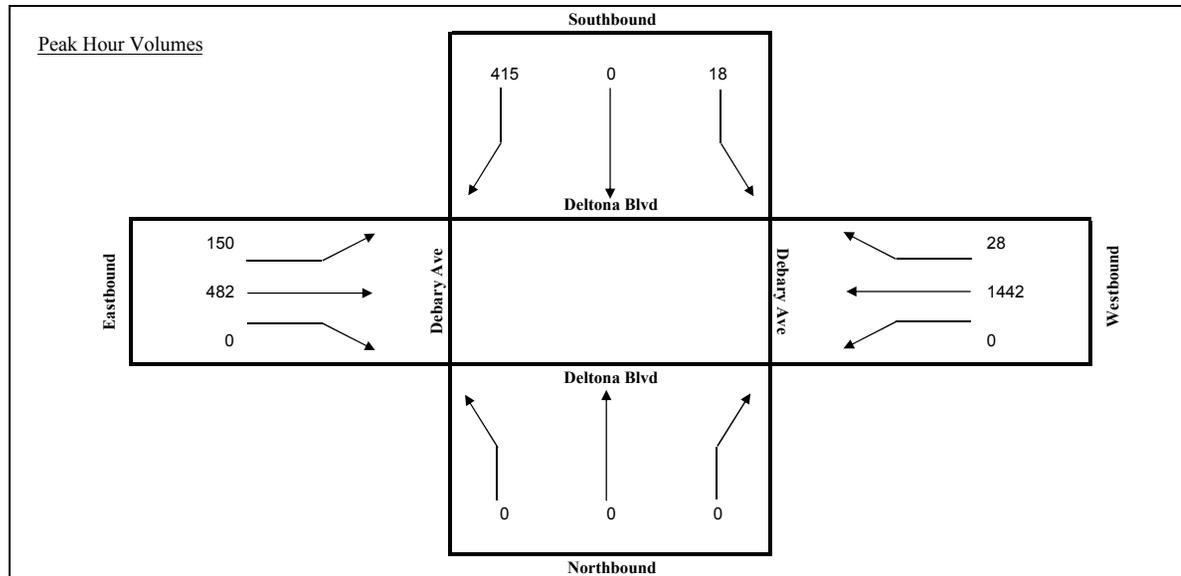
Total for:	4:00 PM	5:00 PM	4	2	2	995	4	109	106	455	0	11	544	127	2359
Total for:	5:00 PM	6:00 PM	4	4	2	1005	3	72	118	711	0	9	585	123	2636
Tota Peak Hour:	4:45 PM	5:45 PM	4	3	1	1022	4	87	121	678	0	7	603	117	2647
Overall PHF:	0.92														



TURNING MOVEMENT COUNT ANALYSIS
AUTOS & TRUCKS

Intersection (N/S): Deltona Blvd
Intersection (E/W): Debary Ave
Date: 5/7/2015

Start	End	Deltona Blvd			Deltona Blvd			Debary Ave			Debary Ave			TOTAL	
		L	T	R	L	T	R	L	T	R	L	T	R		
7:00 AM	7:15 AM	0	0	0	7	0	96	25	74	0	0	360	6	568	
7:15 AM	7:30 AM	0	0	0	3	0	110	41	120	0	0	378	4	656	
7:30 AM	7:45 AM	0	0	0	7	0	105	36	107	0	0	340	10	605	
7:45 AM	8:00 AM	0	0	0	5	0	99	40	140	0	0	372	5	661	
8:00 AM	8:15 AM	0	0	0	3	0	101	33	115	0	0	352	9	613	
8:15 AM	8:30 AM	0	0	0	7	0	88	29	99	0	0	336	11	570	
8:30 AM	8:45 AM	0	0	0	2	0	75	18	108	0	0	275	9	487	
8:45 AM	9:00 AM	0	0	0	6	0	81	23	87	0	0	241	8	446	
Total for:	7:00 AM	8:00 AM	0	0	0	22	0	410	142	441	0	0	1450	25	2490
Total for:	8:00 AM	9:00 AM	0	0	0	18	0	345	103	409	0	0	1204	37	2116
Tota Peak Hour:	7:15 AM	8:15 AM	0	0	0	18	0	415	150	482	0	0	1442	28	2535
Overall PHF:	0.96														

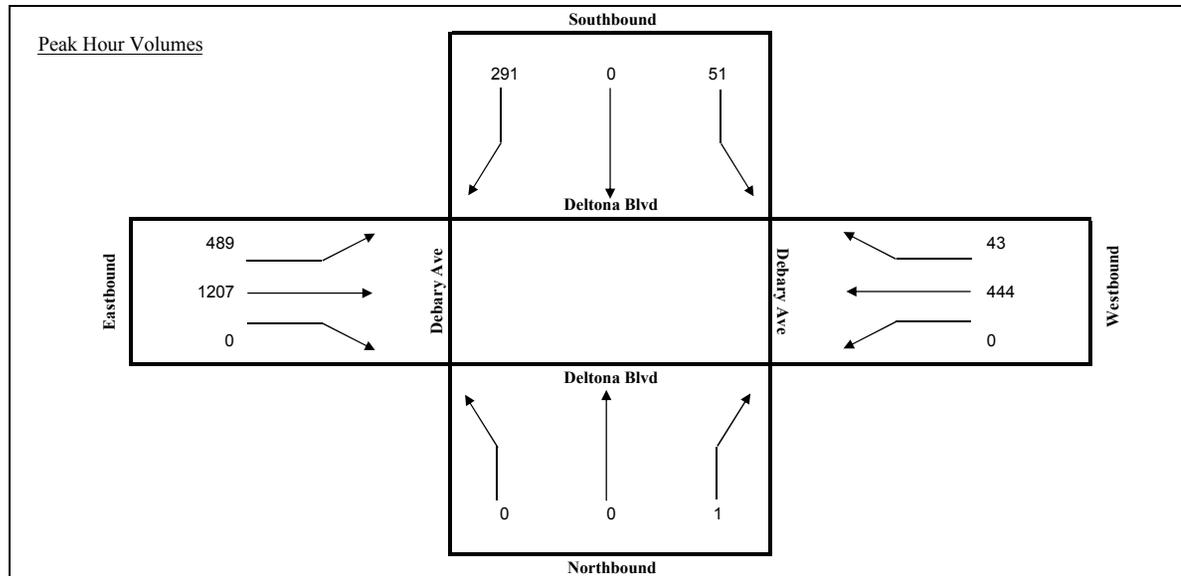


TURNING MOVEMENT COUNT ANALYSIS
AUTOS & TRUCKS

Intersection (N/S): Deltona Blvd
Intersection (E/W): Debary Ave
Date: 5/7/2015

Start	End	Deltona Blvd			Deltona Blvd			Debary Ave			Debary Ave			TOTAL
		L	T	R	L	T	R	L	T	R	L	T	R	
4:00 PM	4:15 PM	0	0	0	9	0	53	88	274	0	0	115	3	542
4:15 PM	4:30 PM	0	0	1	11	0	62	115	280	0	0	99	4	572
4:30 PM	4:45 PM	0	0	1	12	0	70	121	242	0	0	102	5	553
4:45 PM	5:00 PM	0	0	0	14	0	80	133	230	0	0	109	9	575
5:00 PM	5:15 PM	0	0	0	11	0	74	115	298	0	0	102	11	611
5:15 PM	5:30 PM	0	0	1	15	0	72	122	341	0	0	125	8	684
5:30 PM	5:45 PM	0	0	0	11	0	65	119	338	0	0	108	15	656
5:45 PM	6:00 PM	0	0	0	15	0	57	94	274	0	0	123	9	572

Total for:	4:00 PM	5:00 PM	0	0	2	46	0	265	457	1026	0	0	425	21	2242
Total for:	5:00 PM	6:00 PM	0	0	1	52	0	268	450	1251	0	0	458	43	2523
Tota Peak Hour:	4:45 PM	5:45 PM	0	0	1	51	0	291	489	1207	0	0	444	43	2526
Overall PHF:	0.92														



TURNING MOVEMENT COUNT ANALYSIS
AUTOS & TRUCKS

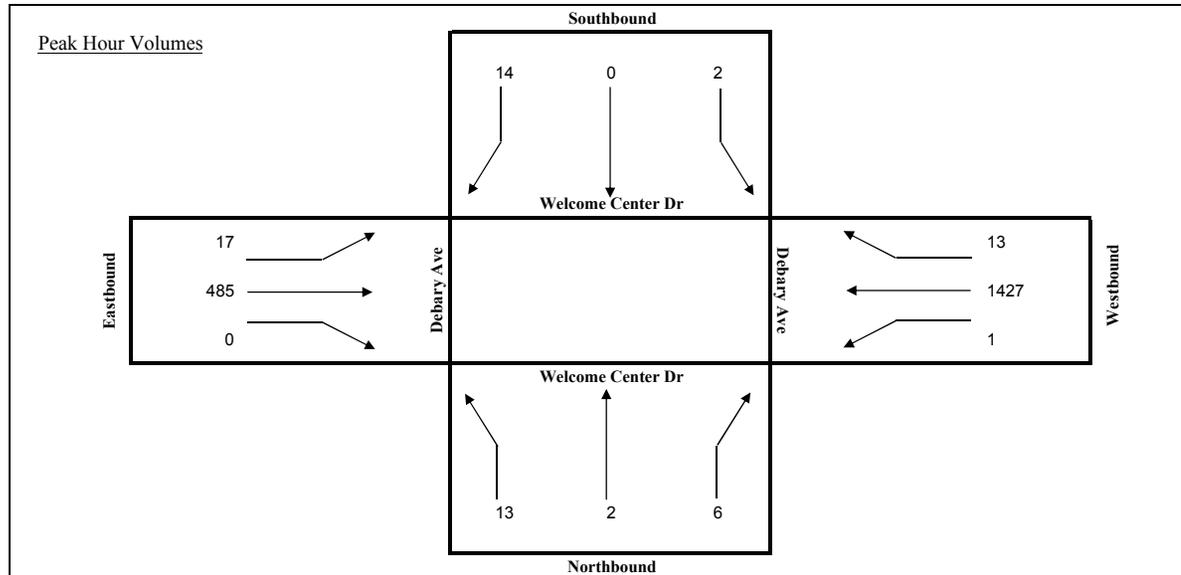
Intersection (N/S): Welcome Center Dr

Intersection (E/W): Debary Ave

Date: 5/7/2015

Start	End	Welcome Center Dr			Welcome Center Dr			Debary Ave			Debary Ave			TOTAL
		L	T	R	L	T	R	L	T	R	L	T	R	
7:00 AM	7:15 AM	2	0	0	2	0	2	2	78	0	0	357	2	445
7:15 AM	7:30 AM	1	1	3	0	0	5	2	120	0	0	370	1	503
7:30 AM	7:45 AM	5	0	1	1	0	3	5	108	0	0	337	3	463
7:45 AM	8:00 AM	4	0	0	0	0	0	3	146	0	0	375	4	532
8:00 AM	8:15 AM	3	1	2	1	0	6	7	111	0	1	345	5	482
8:15 AM	8:30 AM	3	0	0	2	0	6	6	98	2	1	328	4	450
8:30 AM	8:45 AM	2	1	1	4	0	2	5	103	1	0	270	6	395
8:45 AM	9:00 AM	4	0	3	3	0	4	6	84	0	0	246	5	355

Total for:	7:00 AM	8:00 AM	12	1	4	3	0	10	12	452	0	0	1439	10	1943
Total for:	8:00 AM	9:00 AM	12	2	6	10	0	18	24	396	3	2	1189	20	1682
Tota Peak Hour:	7:15 AM	8:15 AM	13	2	6	2	0	14	17	485	0	1	1427	13	1980
Overall PHF:	0.93														



**TURNING MOVEMENT COUNT ANALYSIS
AUTOS & TRUCKS**

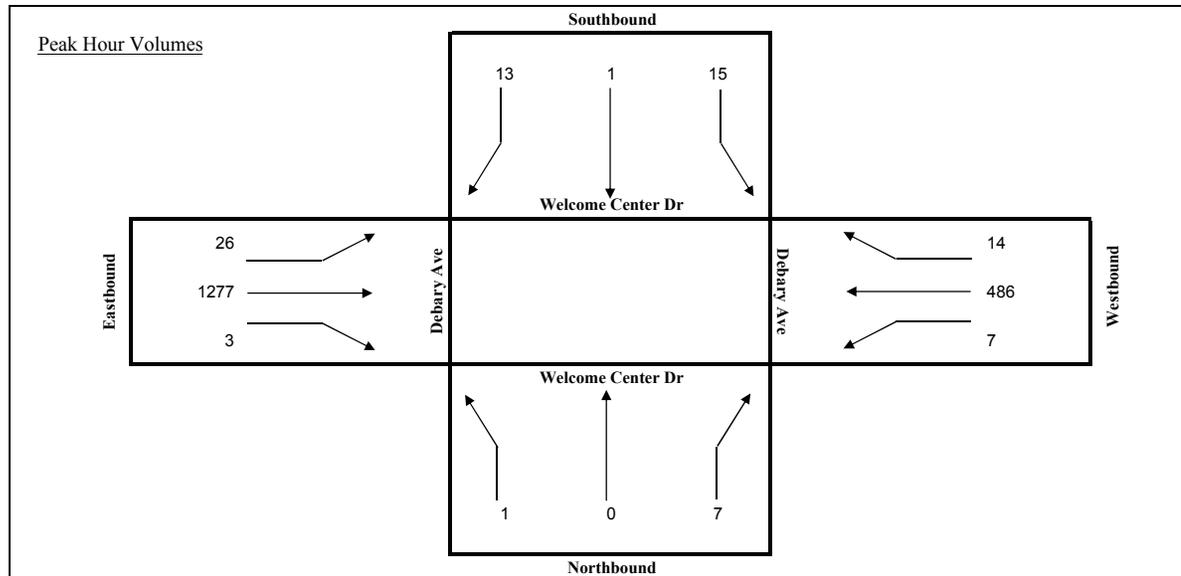
Intersection (N/S): Welcome Center Dr

Intersection (E/W): Debary Ave

Date: 5/7/2015

Start	End	Welcome Center Dr			Welcome Center Dr			Debary Ave			Debary Ave			TOTAL
		L	T	R	L	T	R	L	T	R	L	T	R	
4:00 PM	4:15 PM	1	0	2	2	0	3	2	250	0	1	116	1	378
4:15 PM	4:30 PM	0	0	1	3	1	5	5	287	2	2	101	2	409
4:30 PM	4:45 PM	1	0	0	2	0	2	6	260	0	0	103	5	379
4:45 PM	5:00 PM	2	0	3	4	0	6	3	235	4	3	116	3	379
5:00 PM	5:15 PM	0	0	0	5	1	3	8	302	0	0	107	7	433
5:15 PM	5:30 PM	0	0	2	3	0	1	5	351	1	1	130	2	496
5:30 PM	5:45 PM	1	0	2	5	0	3	6	343	1	4	121	2	488
5:45 PM	6:00 PM	0	0	3	2	0	6	7	281	1	2	128	3	433

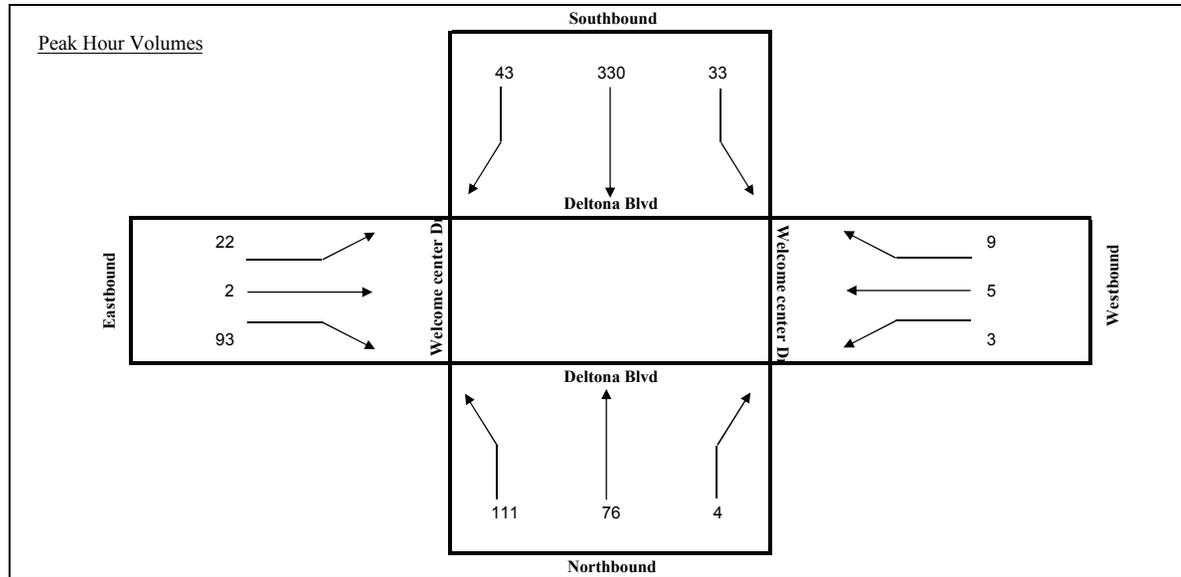
Total for:	4:00 PM	5:00 PM	4	0	6	11	1	16	16	1032	6	6	436	11	1545
Total for:	5:00 PM	6:00 PM	1	0	7	15	1	13	26	1277	3	7	486	14	1850
Tota Peak Hour:	5:00 PM	6:00 PM	1	0	7	15	1	13	26	1277	3	7	486	14	1850
Overall PHF:	0.93														



TURNING MOVEMENT COUNT ANALYSIS
AUTOS & TRUCKS

Intersection (N/S): Deltona Blvd
Intersection (E/W): Welcome center Dr
Date: 5/7/2015

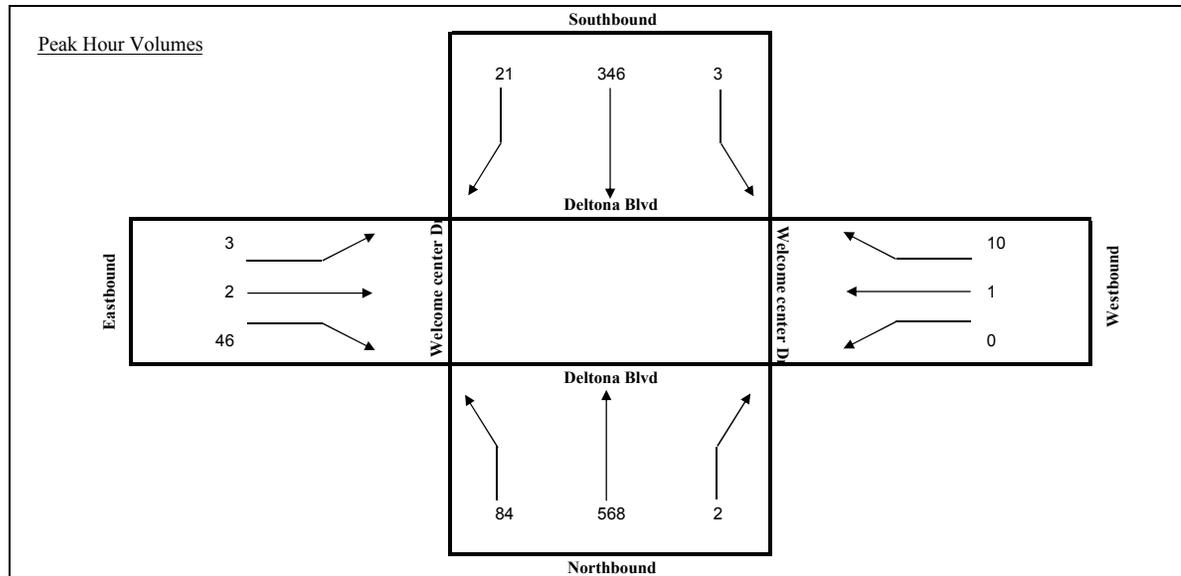
Start	End	Deltona Blvd			Deltona Blvd			Welcome center Dr			Welcome center Dr			TOTAL
		L	T	R	L	T	R	L	T	R	L	T	R	
7:00 AM	7:15 AM	15	18	1	3	85	7	1	1	20	3	1	1	156
7:15 AM	7:30 AM	24	21	0	8	90	8	2	0	27	0	0	0	180
7:30 AM	7:45 AM	33	18	2	7	81	10	7	0	24	2	2	2	188
7:45 AM	8:00 AM	29	16	2	7	75	14	7	2	24	1	3	7	187
8:00 AM	8:15 AM	25	21	0	11	84	11	6	0	18	0	0	0	176
8:15 AM	8:30 AM	28	12	1	8	70	15	5	0	30	1	2	2	174
8:30 AM	8:45 AM	18	15	0	3	59	9	7	1	22	2	1	3	140
8:45 AM	9:00 AM	20	14	1	5	73	10	2	0	17	2	3	1	148
Total for:	7:00 AM 8:00 AM	101	73	5	25	331	39	17	3	95	6	6	10	711
Total for:	8:00 AM 9:00 AM	91	62	2	27	286	45	20	1	87	5	6	6	638
Tota Peak Hour:	7:15 AM 8:15 AM	111	76	4	33	330	43	22	2	93	3	5	9	731
Overall PHF:		0.97												



TURNING MOVEMENT COUNT ANALYSIS
AUTOS & TRUCKS

Intersection (N/S): Deltona Blvd
Intersection (E/W): Welcome center Dr
Date: 5/7/2015

Start	End	Deltona Blvd			Deltona Blvd			Welcome center Dr			Welcome center Dr			TOTAL
		L	T	R	L	T	R	L	T	R	L	T	R	
4:00 PM	4:15 PM	10	91	1	0	65	2	1	0	5	0	2	1	178
4:15 PM	4:30 PM	15	119	0	0	72	5	0	1	9	0	0	2	223
4:30 PM	4:45 PM	20	126	2	1	86	7	2	0	11	0	1	1	257
4:45 PM	5:00 PM	22	142	0	0	97	6	0	1	10	0	0	0	278
5:00 PM	5:15 PM	24	122	1	1	86	7	2	0	15	0	1	6	265
5:15 PM	5:30 PM	18	150	0	0	88	3	1	0	12	0	0	3	275
5:30 PM	5:45 PM	20	154	1	2	75	5	0	1	9	0	0	1	268
5:45 PM	6:00 PM	21	103	0	0	74	4	1	0	12	0	1	3	219
Total for:	4:00 PM 5:00 PM	67	478	3	1	320	20	3	2	35	0	3	4	936
Total for:	5:00 PM 6:00 PM	83	529	2	3	323	19	4	1	48	0	2	13	1027
Tota Peak Hour:	4:45 PM 5:45 PM	84	568	2	3	346	21	3	2	46	0	1	10	1086
Overall PHF:	0.98													



COUNTY OF VOLUSIA TRAFFIC SIGNAL TIMING SHEET

LOCATION: Debary Ave/Dirksen Dr & I-4 EB Ramp
Deltona

ISOLATED:

DATE: 3/27/2015

SIGNAL #: 188

CO-ORD: X

Design By: M. Tobin

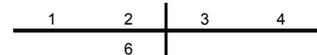
System #: 6

Controller Timing Chart

PHASE	1	2	3	4	5	6	7	8	
DIRECTION	EBL	WB	NB	SB	-	EB	-	-	
TURN TYPE	PERM/PROT	-	SPLIT LEAD	SPLIT LAG	-	-	-	-	
MIN GREEN	5	12	5	6		12			
EXTENSION	3	3	3	4		3			
CLEARANCE	4.0	5.0	3.5	4.0		4.0			
ALL RED	2.5	2.0	2.5	2.5		2.0			
WALK	-	-	-	-		-			
FDW	-	-	-	-		-			
MAX 1	15	30	15	30		30			
MAX 2	-	-	-	-		-			
MAX 3	30	-	-	-		-			
ADJUST	10	-	-	-		-			
RECALL	-	MIN	-	-		MIN			
DETECTOR	NON-LOCK	LOCK	NON-LOCK	LOCK		LOCK			
FLASH	-	YELLOW	RED	RED		YELLOW			
SET	2	-	-	-		-			
CLEAR	2	-	-	-		-			
BASE DAY	1	2	3	4	5	6	7		
									Crosswalk Length
MON #1	TIME	00:01-06:00	06:00-09:00	09:00-14:00	14:00-19:00	19:00-00:00			P2
	PLAN	FREE	C301S1	C101S1	C201S1	FREE			
TUES#1	TIME	00:01-06:00	06:00-09:00	09:00-14:00	14:00-19:00	19:00-00:00			-
	PLAN	FREE	C301S1	C101S1	C201S1	FREE			
WED #1	TIME	00:01-06:00	06:00-09:00	09:00-14:00	14:00-19:00	19:00-00:00			P4
	PLAN	FREE	C301S1	C101S1	C201S1	FREE			
THU #1	TIME	00:01-06:00	06:00-09:00	09:00-14:00	14:00-19:00	19:00-00:00			-
	PLAN	FREE	C301S1	C101S1	C201S1	FREE			
FRI #1	TIME	00:01-06:00	06:00-09:00	09:00-14:00	14:00-19:00	19:00-00:00			P6
	PLAN	FREE	C301S1	C101S1	C201S1	FREE			
SAT #2	TIME	00:01-09:00	09:00-18:00	18:00-00:00					-
	PLAN	FREE	C101S1	FREE					
SUN #3	TIME	00:01-09:00	09:00-18:00	18:00-00:00					P8
	PLAN	FREE	C101S1	FREE					
CONTROLLER TYPE		CONDITION OF OVERHEAD			New		PROM NUMBER		-
3000E		OVERHEAD STREET NAMES			NO				
PHASES:	8Φ	ILLUMINATED STREET NAMES			YES		8216A 3.7.3		SIGNAL OWNER ⁴
CABINET TYPE	V	PRE-EMPTION			NO		IP ADDRESS		County
CABINET DATE	02/1997	PRE-EMPTION TYPE			N/A		10.77.8.34		LED YES

REMARKS:

Omit Phase 1 when Phase 2 is On



COUNTY OF VOLUSIA TRAFFIC SIGNAL TIMING SHEET

LOCATION: Debary Avenue & Deltona Blvd
Deltona

ISOLATED:

DATE: 1/15/2015

SIGNAL #: 258

CO-ORD: X

Design By: M. Tobin

System #: 6

Controller Timing Chart

PHASE	1	2	3	4	5	6	7	8	
DIRECTION	EBL	WB	-	-	-	EB	-	SB	
TURN TYPE	PERM/PROT	-	-	-	-	-	-	-	
MIN GREEN	5	11				11		5	
EXTENSION	4	4				4		4	
CLEARANCE	4.5	4.5				4.5		3.5	
ALL RED	3.5	3.5				3.5		3.5	
WALK	-	-				-		7	
FDW	-	-				-		24	
MAX 1	20	35				35		20	
MAX 2						-		-	
MAX 3	-	-				-		-	
ADJUST	-	-				-		-	
RECALL	-	MIN				MIN		-	
DETECTOR	NON-LOCK	LOCK				LOCK		NON-LOCK	
FLASH	-	YELLOW				YELLOW		RED	
SET	-	-				-		-	
CLEAR	-	-				-		-	
BASE DAY	1	2	3	4	5	6	7		
MON #1	TIME	00:01-06:00	06:00-09:00	09:00-14:00	14:00-19:00	19:00-00:00			Crosswalk Length
	PLAN	FREE	C301S1	C101S1	C201S1	FREE			
TUES#1	TIME	00:01-06:00	06:00-09:00	09:00-14:00	14:00-19:00	19:00-00:00			-
	PLAN	FREE	C301S1	C101S1	C201S1	FREE			
WED #1	TIME	00:01-06:00	06:00-09:00	09:00-14:00	14:00-19:00	19:00-00:00			P4
	PLAN	FREE	C301S1	C101S1	C201S1	FREE			
THU #1	TIME	00:01-06:00	06:00-09:00	09:00-14:00	14:00-19:00	19:00-00:00			-
	PLAN	FREE	C301S1	C101S1	C201S1	FREE			
FRI #1	TIME	00:01-06:00	06:00-09:00	09:00-14:00	14:00-19:00	19:00-00:00			P6
	PLAN	FREE	C301S1	C101S1	C201S1	FREE			
SAT #2	TIME	00:01-09:00	09:00-18:00	18:00-00:00					-
	PLAN	FREE	C101S1	FREE					
SUN #3	TIME	00:01-09:00	09:00-18:00	18:00-00:00					P8
	PLAN	FREE	C101S1	FREE					
CONTROLLER TYPE		CONDITION OF OVERHEAD			New - 2010		PROM NUMBER		
3000E		OVERHEAD STREET NAMES			NO		84		
PHASES:	8Φ	ILLUMINATED STREET NAMES			YES		8216A 3.7.3		SIGNAL OWNER ⁴
CABINET TYPE	V	PRE-EMPTION			NO		IP ADDRESS		County
CABINET DATE	09/2008	PRE-EMPTION TYPE			N/A		10.77.8.35		LED -

REMARKS:

No Uturn on EB Left.

1 & 8R	2	
6	8	

Appendix E
Intersection Analysis Worksheets

HCM 2010 Signalized Intersection Summary

7: DeBary Ave & I4 NB Ramp

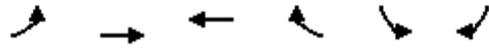
												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	128	376	1	1	1631	198	3	0	3	249	0	36
Number	7	4	14	3	8	18	5	2	12	1	6	16
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1900	1863	1863	1900	1900	1863	1900	1863	1863	1863
Adj Flow Rate, veh/h	133	392	1	1	1699	0	3	0	0	259	0	35
Adj No. of Lanes	1	2	0	1	2	0	0	1	0	2	0	1
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	354	2587	7	633	2110	0	94	0	0	386	0	172
Arrive On Green	0.08	0.71	0.71	1.00	1.00	0.00	0.05	0.00	0.00	0.11	0.00	0.11
Sat Flow, veh/h	1774	3621	9	987	3632	0	1774	0	0	3548	0	1583
Grp Volume(v), veh/h	133	192	201	1	1699	0	3	0	0	259	0	35
Grp Sat Flow(s),veh/h/ln	1774	1770	1861	987	1770	0	1774	0	0	1774	0	1583
Q Serve(g_s), s	4.1	5.6	5.6	0.0	0.0	0.0	0.3	0.0	0.0	11.3	0.0	3.2
Cycle Q Clear(g_c), s	4.1	5.6	5.6	0.0	0.0	0.0	0.3	0.0	0.0	11.3	0.0	3.2
Prop In Lane	1.00		0.00	1.00		0.00	1.00		0.00	1.00		1.00
Lane Grp Cap(c), veh/h	354	1264	1329	633	2110	0	94	0	0	386	0	172
V/C Ratio(X)	0.38	0.15	0.15	0.00	0.81	0.00	0.03	0.00	0.00	0.67	0.00	0.20
Avail Cap(c_a), veh/h	354	1264	1329	633	2110	0	94	0	0	386	0	172
HCM Platoon Ratio	1.00	1.00	1.00	2.00	2.00	2.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	0.00	1.00	0.00	0.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	8.6	7.4	7.4	0.0	0.0	0.0	72.3	0.0	0.0	69.0	0.0	65.4
Incr Delay (d2), s/veh	3.0	0.3	0.2	0.0	3.4	0.0	0.6	0.0	0.0	9.0	0.0	2.7
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	2.3	2.8	2.9	0.0	1.0	0.0	0.1	0.0	0.0	6.0	0.0	1.6
LnGrp Delay(d),s/veh	11.6	7.6	7.6	0.0	3.4	0.0	73.0	0.0	0.0	78.0	0.0	68.0
LnGrp LOS	B	A	A	A	A		E			E		E
Approach Vol, veh/h		526			1700			3				294
Approach Delay, s/veh		8.6			3.4			73.0				76.8
Approach LOS		A			A			E				E
Timer	1	2	3	4	5	6	7	8				
Assigned Phs		2		4		6	7	8				
Phs Duration (G+Y+Rc), s		15.0		122.0		24.0	19.0	103.0				
Change Period (Y+Rc), s		6.5		* 7		6.5	6.5	7.0				
Max Green Setting (Gmax), s		8.5		* 1.2E2		17.5	12.5	95.0				
Max Q Clear Time (g_c+I1), s		2.3		7.6		13.3	6.1	2.0				
Green Ext Time (p_c), s		0.0		30.5		0.4	0.1	29.7				
Intersection Summary												
HCM 2010 Ctrl Delay				13.1								
HCM 2010 LOS				B								
Notes												
User approved volume balancing among the lanes for turning movement.												

HCM 2010 Signalized Intersection Summary

7: DeBary Ave & I4 NB Ramp

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (veh/h)	131	395	1	1	1678	206	3	0	3	264	0	37
Number	7	4	14	3	8	18	5	2	12	1	6	16
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1900	1863	1863	1900	1900	1863	1900	1863	1863	1863
Adj Flow Rate, veh/h	136	411	1	1	1748	0	3	0	0	275	0	8
Adj No. of Lanes	1	2	0	1	2	0	0	1	0	2	0	1
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	346	2587	6	623	2110	0	94	0	0	386	0	172
Arrive On Green	0.08	0.71	0.71	1.00	1.00	0.00	0.05	0.00	0.00	0.11	0.00	0.11
Sat Flow, veh/h	1774	3622	9	970	3632	0	1774	0	0	3548	0	1583
Grp Volume(v), veh/h	136	201	211	1	1748	0	3	0	0	275	0	8
Grp Sat Flow(s),veh/h/ln	1774	1770	1861	970	1770	0	1774	0	0	1774	0	1583
Q Serve(g_s), s	4.2	5.9	5.9	0.0	0.0	0.0	0.3	0.0	0.0	12.1	0.0	0.7
Cycle Q Clear(g_c), s	4.2	5.9	5.9	0.0	0.0	0.0	0.3	0.0	0.0	12.1	0.0	0.7
Prop In Lane	1.00		0.00	1.00		0.00	1.00		0.00	1.00		1.00
Lane Grp Cap(c), veh/h	346	1264	1329	623	2110	0	94	0	0	386	0	172
V/C Ratio(X)	0.39	0.16	0.16	0.00	0.83	0.00	0.03	0.00	0.00	0.71	0.00	0.05
Avail Cap(c_a), veh/h	346	1264	1329	623	2110	0	94	0	0	386	0	172
HCM Platoon Ratio	1.00	1.00	1.00	2.00	2.00	2.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	0.00	1.00	0.00	0.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	8.6	7.4	7.4	0.0	0.0	0.0	72.3	0.0	0.0	69.3	0.0	64.3
Incr Delay (d2), s/veh	3.3	0.3	0.3	0.0	3.9	0.0	0.6	0.0	0.0	10.7	0.0	0.5
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	2.3	2.9	3.1	0.0	1.1	0.0	0.1	0.0	0.0	6.5	0.0	0.3
LnGrp Delay(d),s/veh	11.9	7.7	7.7	0.0	3.9	0.0	73.0	0.0	0.0	80.0	0.0	64.8
LnGrp LOS	B	A	A	A	A		E			F		E
Approach Vol, veh/h		548			1749			3				283
Approach Delay, s/veh		8.7			3.9			73.0				79.6
Approach LOS		A			A			E				E
Timer	1	2	3	4	5	6	7	8				
Assigned Phs		2		4		6	7	8				
Phs Duration (G+Y+Rc), s		15.0		122.0		24.0	19.0	103.0				
Change Period (Y+Rc), s		6.5		* 7		6.5	6.5	7.0				
Max Green Setting (Gmax), s		8.5		* 1.2E2		17.5	12.5	95.0				
Max Q Clear Time (g_c+I1), s		2.3		7.9		14.1	6.2	2.0				
Green Ext Time (p_c), s		0.0		32.9		0.3	0.2	32.0				
Intersection Summary												
HCM 2010 Ctrl Delay			13.3									
HCM 2010 LOS			B									
Notes												
User approved pedestrian interval to be less than phase max green.												

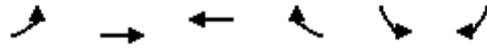
HCM 2010 Signalized Intersection Summary 3: DeBary Ave & Deltona Blvd



Movement	EBL	EBT	WBT	WBR	SBL	SBR		
Lane Configurations								
Volume (veh/h)	150	482	1442	28	18	415		
Number	7	4	8	18	1	16		
Initial Q (Qb), veh	0	0	0	0	0	0		
Ped-Bike Adj(A_pbT)	1.00			1.00	1.00	1.00		
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00		
Adj Sat Flow, veh/h/ln	1863	1863	1863	1900	1863	1863		
Adj Flow Rate, veh/h	156	502	1502	29	19	301		
Adj No. of Lanes	1	2	2	0	1	1		
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96		
Percent Heavy Veh, %	2	2	2	2	2	2		
Cap, veh/h	366	2898	2375	46	150	292		
Arrive On Green	0.10	0.82	0.67	0.67	0.08	0.08		
Sat Flow, veh/h	1774	3632	3645	69	1774	1583		
Grp Volume(v), veh/h	156	502	748	783	19	301		
Grp Sat Flow(s),veh/h/ln	1774	1770	1770	1851	1774	1583		
Q Serve(g_s), s	3.4	4.8	38.8	38.9	1.6	13.5		
Cycle Q Clear(g_c), s	3.4	4.8	38.8	38.9	1.6	13.5		
Prop In Lane	1.00			0.04	1.00	1.00		
Lane Grp Cap(c), veh/h	366	2898	1183	1238	150	292		
V/C Ratio(X)	0.43	0.17	0.63	0.63	0.13	1.03		
Avail Cap(c_a), veh/h	366	2898	1183	1238	150	292		
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00		
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00		
Uniform Delay (d), s/veh	13.9	3.1	15.2	15.2	67.8	65.3		
Incr Delay (d2), s/veh	3.6	0.1	2.6	2.5	1.7	60.9		
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0		
%ile BackOfQ(50%),veh/ln	3.6	2.4	19.7	20.7	0.9	28.4		
LnGrp Delay(d),s/veh	17.5	3.2	17.8	17.7	69.5	126.2		
LnGrp LOS	B	A	B	B	E	F		
Approach Vol, veh/h		658	1531		320			
Approach Delay, s/veh		6.6	17.7		122.8			
Approach LOS		A	B		F			
Timer	1	2	3	4	5	6	7	8
Assigned Phs				4		6	7	8
Phs Duration (G+Y+Rc), s				139.0		21.0	24.0	115.0
Change Period (Y+Rc), s				8.0		7.5	8.0	8.0
Max Green Setting (Gmax), s				131.0		13.5	16.0	107.0
Max Q Clear Time (g_c+I1), s				6.8		15.5	5.4	40.9
Green Ext Time (p_c), s				25.7		0.0	0.3	23.5
Intersection Summary								
HCM 2010 Ctrl Delay			28.2					
HCM 2010 LOS			C					

HCM 2010 Signalized Intersection Summary

3: DeBary Ave & Deltona Blvd



Movement	EBL	EBT	WBT	WBR	SBL	SBR		
Lane Configurations								
Volume (veh/h)	183	480	1459	49	38	453		
Number	7	4	8	18	1	16		
Initial Q (Qb), veh	0	0	0	0	0	0		
Ped-Bike Adj(A_pbT)	1.00			1.00	1.00	1.00		
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00		
Adj Sat Flow, veh/h/ln	1863	1863	1863	1900	1863	1863		
Adj Flow Rate, veh/h	191	500	1520	51	40	331		
Adj No. of Lanes	1	2	2	0	1	1		
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96		
Percent Heavy Veh, %	2	2	2	2	2	2		
Cap, veh/h	357	2898	2337	78	150	292		
Arrive On Green	0.10	0.82	0.67	0.67	0.08	0.08		
Sat Flow, veh/h	1774	3632	3588	117	1774	1583		
Grp Volume(v), veh/h	191	500	768	803	40	331		
Grp Sat Flow(s),veh/h/ln	1774	1770	1770	1842	1774	1583		
Q Serve(g_s), s	4.2	4.8	40.6	40.9	3.4	13.5		
Cycle Q Clear(g_c), s	4.2	4.8	40.6	40.9	3.4	13.5		
Prop In Lane	1.00			0.06	1.00	1.00		
Lane Grp Cap(c), veh/h	357	2898	1183	1232	150	292		
V/C Ratio(X)	0.54	0.17	0.65	0.65	0.27	1.13		
Avail Cap(c_a), veh/h	357	2898	1183	1232	150	292		
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00		
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00		
Uniform Delay (d), s/veh	18.2	3.1	15.5	15.6	68.6	65.3		
Incr Delay (d2), s/veh	5.7	0.1	2.8	2.7	4.3	93.8		
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0		
%ile BackOfQ(50%),veh/ln	6.0	2.3	20.5	21.7	1.8	31.1		
LnGrp Delay(d),s/veh	23.9	3.2	18.3	18.2	72.9	159.0		
LnGrp LOS	C	A	B	B	E	F		
Approach Vol, veh/h		691	1571		371			
Approach Delay, s/veh		8.9	18.3		149.7			
Approach LOS		A	B		F			
Timer	1	2	3	4	5	6	7	8
Assigned Phs				4		6	7	8
Phs Duration (G+Y+Rc), s				139.0		21.0	24.0	115.0
Change Period (Y+Rc), s				8.0		7.5	8.0	8.0
Max Green Setting (Gmax), s				131.0		13.5	16.0	107.0
Max Q Clear Time (g_c+I1), s				6.8		15.5	6.2	42.9
Green Ext Time (p_c), s				27.2		0.0	0.3	24.3
Intersection Summary								
HCM 2010 Ctrl Delay			34.3					
HCM 2010 LOS			C					

HCM 2010 TWSC
 5: DeBary Ave & Welcome Center

Intersection												
Int Delay, s/veh	0.5											

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	17	485	0	1	1427	13	13	2	6	2	0	14
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None									
Storage Length	300	-	-	0	-	-	-	-	-	-	-	0
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	93	93	93	93	93	93	93	93	93	93	93	93
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	18	522	0	1	1534	14	14	2	6	2	0	15

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	1548	0	0	522	0	0	1327	2109	261	1842	2102	774
Stage 1	-	-	-	-	-	-	558	558	-	1544	1544	-
Stage 2	-	-	-	-	-	-	769	1551	-	298	558	-
Critical Hdwy	4.14	-	-	4.14	-	-	7.54	6.54	6.94	7.54	6.54	6.94
Critical Hdwy Stg 1	-	-	-	-	-	-	6.54	5.54	-	6.54	5.54	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.54	5.54	-	6.54	5.54	-
Follow-up Hdwy	2.22	-	-	2.22	-	-	3.52	4.02	3.32	3.52	4.02	3.32
Pot Cap-1 Maneuver	424	-	-	1041	-	-	113	51	738	47	51	341
Stage 1	-	-	-	-	-	-	482	510	-	120	175	-
Stage 2	-	-	-	-	-	-	360	173	-	686	510	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	424	-	-	1041	-	-	104	49	738	44	49	341
Mov Cap-2 Maneuver	-	-	-	-	-	-	220	123	-	98	134	-
Stage 1	-	-	-	-	-	-	462	488	-	115	175	-
Stage 2	-	-	-	-	-	-	344	173	-	648	488	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.5	0	20.7	19.3
HCM LOS			C	C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	252	424	-	-	1041	-	-	98	341
HCM Lane V/C Ratio	0.09	0.043	-	-	0.001	-	-	0.022	0.044
HCM Control Delay (s)	20.7	13.9	-	-	8.5	-	-	42.6	16
HCM Lane LOS	C	B	-	-	A	-	-	E	C
HCM 95th %tile Q(veh)	0.3	0.1	-	-	0	-	-	0.1	0.1

HCM 2010 TWSC
 5: DeBary Ave & Welcome Center

Intersection												
Int Delay, s/veh	1.2											

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	29	491	0	1	1444	37	13	2	6	18	0	34
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None									
Storage Length	300	-	-	0	-	-	-	-	-	-	-	0
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	93	93	93	93	93	93	93	93	93	93	93	93
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	31	528	0	1	1553	40	14	2	6	19	0	37

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	1592	0	0	528	0	0	1368	2185	264	1902	2165	796
Stage 1	-	-	-	-	-	-	590	590	-	1575	1575	-
Stage 2	-	-	-	-	-	-	778	1595	-	327	590	-
Critical Hdwy	4.14	-	-	4.14	-	-	7.54	6.54	6.94	7.54	6.54	6.94
Critical Hdwy Stg 1	-	-	-	-	-	-	6.54	5.54	-	6.54	5.54	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.54	5.54	-	6.54	5.54	-
Follow-up Hdwy	2.22	-	-	2.22	-	-	3.52	4.02	3.32	3.52	4.02	3.32
Pot Cap-1 Maneuver	408	-	-	1035	-	-	106	45	734	42	47	330
Stage 1	-	-	-	-	-	-	461	493	-	115	169	-
Stage 2	-	-	-	-	-	-	355	165	-	660	493	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	408	-	-	1035	-	-	89	42	734	39	43	330
Mov Cap-2 Maneuver	-	-	-	-	-	-	194	107	-	90	127	-
Stage 1	-	-	-	-	-	-	426	456	-	106	169	-
Stage 2	-	-	-	-	-	-	315	165	-	602	456	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.8	0	22.9	30.6
HCM LOS			C	D

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	224	408	-	-	1035	-	-	90	330
HCM Lane V/C Ratio	0.101	0.076	-	-	0.001	-	-	0.215	0.111
HCM Control Delay (s)	22.9	14.6	-	-	8.5	-	-	55.6	17.3
HCM Lane LOS	C	B	-	-	A	-	-	F	C
HCM 95th %tile Q(veh)	0.3	0.2	-	-	0	-	-	0.8	0.4

HCM 2010 TWSC
 10: Deltona Blvd & Welcome Center

Intersection												
Int Delay, s/veh	3.9											

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	22	2	93	3	5	9	111	76	4	33	330	43
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	0	-	-	0	100	-	0	0	-	150
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	97	97	97	97	97	97	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	23	2	96	3	5	9	114	78	4	34	340	44

Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	718	715	340	716	715	78	340	0	0	78	0	0
Stage 1	408	408	-	307	307	-	-	-	-	-	-	-
Stage 2	310	307	-	409	408	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	344	356	702	345	356	983	1219	-	-	1520	-	-
Stage 1	620	597	-	703	661	-	-	-	-	-	-	-
Stage 2	700	661	-	619	597	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	307	315	702	271	315	983	1219	-	-	1520	-	-
Mov Cap-2 Maneuver	307	315	-	271	315	-	-	-	-	-	-	-
Stage 1	562	584	-	637	599	-	-	-	-	-	-	-
Stage 2	623	599	-	521	584	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	12.3	12.8	4.8	0.6
HCM LOS	B	B		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1219	-	-	308	702	297	983	1520	-	-
HCM Lane V/C Ratio	0.094	-	-	0.08	0.137	0.028	0.009	0.022	-	-
HCM Control Delay (s)	8.3	-	-	17.7	10.9	17.5	8.7	7.4	-	-
HCM Lane LOS	A	-	-	C	B	C	A	A	-	-
HCM 95th %tile Q(veh)	0.3	-	-	0.3	0.5	0.1	0	0.1	-	-

HCM 2010 TWSC
 10: Deltona Blvd & Welcome Center

Intersection												
Int Delay, s/veh	3.8											

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	22	2	95	3	5	11	113	86	4	36	345	44
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	0	-	-	0	75	-	0	0	-	150
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	97	97	97	97	97	97	97	97	97	97	97	97
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	23	2	98	3	5	11	116	89	4	37	356	45

Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	754	752	356	753	752	89	356	0	0	89	0	0
Stage 1	430	430	-	322	322	-	-	-	-	-	-	-
Stage 2	324	322	-	431	430	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	326	339	688	326	339	969	1203	-	-	1506	-	-
Stage 1	603	583	-	690	651	-	-	-	-	-	-	-
Stage 2	688	651	-	603	583	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	289	299	688	253	299	969	1203	-	-	1506	-	-
Mov Cap-2 Maneuver	289	299	-	253	299	-	-	-	-	-	-	-
Stage 1	545	569	-	623	588	-	-	-	-	-	-	-
Stage 2	609	588	-	503	569	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	12.6	12.8	4.6	0.6
HCM LOS	B	B		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1203	-	-	290	688	280	969	1506	-	-
HCM Lane V/C Ratio	0.097	-	-	0.085	0.142	0.029	0.012	0.025	-	-
HCM Control Delay (s)	8.3	-	-	18.6	11.1	18.2	8.8	7.5	-	-
HCM Lane LOS	A	-	-	C	B	C	A	A	-	-
HCM 95th %tile Q(veh)	0.3	-	-	0.3	0.5	0.1	0	0.1	-	-

HCM 2010 TWSC
13: Deltona Blvd & Dvwy

Intersection

Int Delay, s/veh 1.5

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Vol, veh/h	59	24	179	67	16	427
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	175	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	62	25	188	71	17	449

Major/Minor	Minor1		Major1		Major2	
Conflicting Flow All	671	94	0	0	188	0
Stage 1	188	-	-	-	-	-
Stage 2	483	-	-	-	-	-
Critical Hdwy	6.63	6.93	-	-	4.14	-
Critical Hdwy Stg 1	5.83	-	-	-	-	-
Critical Hdwy Stg 2	5.43	-	-	-	-	-
Follow-up Hdwy	3.519	3.319	-	-	2.22	-
Pot Cap-1 Maneuver	405	945	-	-	1384	-
Stage 1	826	-	-	-	-	-
Stage 2	619	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	399	945	-	-	1384	-
Mov Cap-2 Maneuver	493	-	-	-	-	-
Stage 1	826	-	-	-	-	-
Stage 2	609	-	-	-	-	-

Approach	WB		NB		SB
HCM Control Delay, s	12.1		0		0.3
HCM LOS	B				

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	493	945	1384	-
HCM Lane V/C Ratio	-	-	0.126	0.027	0.012	-
HCM Control Delay (s)	-	-	13.4	8.9	7.6	0
HCM Lane LOS	-	-	B	A	A	A
HCM 95th %tile Q(veh)	-	-	0.4	0.1	0	-

HCM 2010 TWSC
 17: Welcome Center & Dvwy

Intersection

Int Delay, s/veh 4.7

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	2	36	36	33	16	2
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	38	38	35	17	2

Major/Minor	Minor2		Major1		Major2	
Conflicting Flow All	129	18	19	0	-	0
Stage 1	18	-	-	-	-	-
Stage 2	111	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	865	1061	1597	-	-	-
Stage 1	1005	-	-	-	-	-
Stage 2	914	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	844	1061	1597	-	-	-
Mov Cap-2 Maneuver	844	-	-	-	-	-
Stage 1	1005	-	-	-	-	-
Stage 2	892	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	8.6	3.8	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1597	-	1047	-	-
HCM Lane V/C Ratio	0.024	-	0.038	-	-
HCM Control Delay (s)	7.3	0	8.6	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0.1	-	0.1	-	-

HCM 2010 Signalized Intersection Summary
 7: DeBary Ave & I4 NB Ramp

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		 			 			 			 	
Volume (veh/h)	121	678	0	7	603	117	4	3	1	1022	4	87
Number	7	4	14	3	8	18	5	2	12	1	6	16
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1900	1863	1863	1900	1900	1863	1900	1863	1863	1863
Adj Flow Rate, veh/h	132	737	0	8	655	0	4	3	1	1114	0	95
Adj No. of Lanes	1	2	0	1	2	0	0	1	0	2	0	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	276	1400	0	233	877	0	73	55	18	1250	0	558
Arrive On Green	0.09	0.40	0.00	0.08	0.08	0.00	0.08	0.08	0.08	0.35	0.00	0.35
Sat Flow, veh/h	1774	3632	0	718	3632	0	890	667	222	3548	0	1583
Grp Volume(v), veh/h	132	737	0	8	655	0	8	0	0	1114	0	95
Grp Sat Flow(s),veh/h/ln	1774	1770	0	718	1770	0	1779	0	0	1774	0	1583
Q Serve(g_s), s	5.9	18.3	0.0	1.2	20.8	0.0	0.5	0.0	0.0	34.1	0.0	4.8
Cycle Q Clear(g_c), s	5.9	18.3	0.0	2.5	20.8	0.0	0.5	0.0	0.0	34.1	0.0	4.8
Prop In Lane	1.00		0.00	1.00		0.00	0.50		0.12	1.00		1.00
Lane Grp Cap(c), veh/h	276	1400	0	233	877	0	147	0	0	1250	0	558
V/C Ratio(X)	0.48	0.53	0.00	0.03	0.75	0.00	0.05	0.00	0.00	0.89	0.00	0.17
Avail Cap(c_a), veh/h	276	1400	0	233	877	0	147	0	0	1250	0	558
HCM Platoon Ratio	1.00	1.00	1.00	0.33	0.33	0.33	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	1.00	1.00	0.00	1.00	0.00	0.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	28.5	26.5	0.0	41.4	49.3	0.0	48.6	0.0	0.0	35.2	0.0	25.7
Incr Delay (d2), s/veh	5.8	1.4	0.0	0.3	5.8	0.0	0.7	0.0	0.0	9.9	0.0	0.7
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	3.3	9.2	0.0	0.3	10.9	0.0	0.3	0.0	0.0	18.4	0.0	2.2
LnGrp Delay(d),s/veh	34.3	27.9	0.0	41.7	55.0	0.0	49.3	0.0	0.0	45.0	0.0	26.3
LnGrp LOS	C	C		D	E		D			D		C
Approach Vol, veh/h		869			663			8			1209	
Approach Delay, s/veh		28.9			54.9			49.3			43.6	
Approach LOS		C			D			D			D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs		2		4		6	7	8				
Phs Duration (G+Y+Rc), s		16.0		52.0		47.0	17.0	35.0				
Change Period (Y+Rc), s		6.5		6.5		6.5	6.5	6.5				
Max Green Setting (Gmax), s		9.5		45.5		40.5	10.5	28.5				
Max Q Clear Time (g_c+I1), s		2.5		20.3		36.1	7.9	22.8				
Green Ext Time (p_c), s		0.0		9.9		2.2	0.1	3.8				
Intersection Summary												
HCM 2010 Ctrl Delay				41.7								
HCM 2010 LOS				D								
Notes												
User approved volume balancing among the lanes for turning movement.												

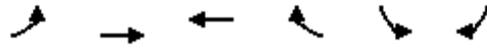
HCM 2010 Signalized Intersection Summary

7: DeBary Ave & I4 NB Ramp

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		 			 			 			 	
Volume (veh/h)	123	710	0	7	633	124	4	3	1	1055	4	89
Number	7	4	14	3	8	18	5	2	12	1	6	16
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1900	1863	1863	1900	1900	1863	1900	1863	1863	1863
Adj Flow Rate, veh/h	134	772	0	8	688	0	4	3	1	1150	0	97
Adj No. of Lanes	1	2	0	1	2	0	0	1	0	2	0	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	266	1394	0	219	873	0	73	55	18	1244	0	555
Arrive On Green	0.09	0.39	0.00	0.08	0.08	0.00	0.08	0.08	0.08	0.35	0.00	0.35
Sat Flow, veh/h	1774	3632	0	695	3632	0	890	667	222	3548	0	1583
Grp Volume(v), veh/h	134	772	0	8	688	0	8	0	0	1150	0	97
Grp Sat Flow(s),veh/h/ln	1774	1770	0	695	1770	0	1779	0	0	1774	0	1583
Q Serve(g_s), s	6.1	19.5	0.0	1.2	22.0	0.0	0.5	0.0	0.0	36.0	0.0	4.9
Cycle Q Clear(g_c), s	6.1	19.5	0.0	3.8	22.0	0.0	0.5	0.0	0.0	36.0	0.0	4.9
Prop In Lane	1.00		0.00	1.00		0.00	0.50		0.12	1.00		1.00
Lane Grp Cap(c), veh/h	266	1394	0	219	873	0	146	0	0	1244	0	555
V/C Ratio(X)	0.50	0.55	0.00	0.04	0.79	0.00	0.05	0.00	0.00	0.92	0.00	0.17
Avail Cap(c_a), veh/h	266	1394	0	219	873	0	146	0	0	1244	0	555
HCM Platoon Ratio	1.00	1.00	1.00	0.33	0.33	0.33	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	1.00	1.00	0.00	1.00	0.00	0.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	29.0	27.1	0.0	42.9	50.1	0.0	48.9	0.0	0.0	36.0	0.0	25.9
Incr Delay (d2), s/veh	6.7	1.6	0.0	0.3	7.1	0.0	0.7	0.0	0.0	12.8	0.0	0.7
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	3.4	9.9	0.0	0.3	11.7	0.0	0.3	0.0	0.0	19.8	0.0	2.2
LnGrp Delay(d),s/veh	35.7	28.7	0.0	43.2	57.2	0.0	49.6	0.0	0.0	48.9	0.0	26.6
LnGrp LOS	D	C		D	E		D			D		C
Approach Vol, veh/h		906			696			8				1247
Approach Delay, s/veh		29.8			57.0			49.6				47.1
Approach LOS		C			E			D				D
Timer	1	2	3	4	5	6	7	8				
Assigned Phs		2		4		6	7	8				
Phs Duration (G+Y+Rc), s		16.0		52.5		47.0	17.0	35.5				
Change Period (Y+Rc), s		6.5		* 7		6.5	6.5	7.0				
Max Green Setting (Gmax), s		9.5		* 46		40.5	10.5	28.0				
Max Q Clear Time (g_c+I1), s		2.5		21.5		38.0	8.1	24.0				
Green Ext Time (p_c), s		0.0		10.3		1.4	0.1	2.8				
Intersection Summary												
HCM 2010 Ctrl Delay				44.0								
HCM 2010 LOS				D								
Notes												
User approved volume balancing among the lanes for turning movement.												

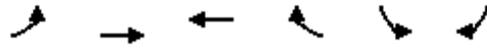
HCM 2010 Signalized Intersection Summary

3: DeBary Ave & Deltona Blvd



Movement	EBL	EBT	WBT	WBR	SBL	SBR		
Lane Configurations								
Volume (veh/h)	489	1207	444	43	51	291		
Number	7	4	8	18	1	16		
Initial Q (Qb), veh	0	0	0	0	0	0		
Ped-Bike Adj(A_pbT)	1.00			1.00	1.00	1.00		
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00		
Adj Sat Flow, veh/h/ln	1863	1863	1863	1900	1863	1863		
Adj Flow Rate, veh/h	532	1312	483	47	55	216		
Adj No. of Lanes	1	2	2	0	1	1		
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92		
Percent Heavy Veh, %	2	2	2	2	2	2		
Cap, veh/h	930	2631	865	84	255	895		
Arrive On Green	0.84	1.00	0.27	0.27	0.14	0.14		
Sat Flow, veh/h	1774	3632	3353	316	1774	1583		
Grp Volume(v), veh/h	532	1312	261	269	55	216		
Grp Sat Flow(s),veh/h/ln	1774	1770	1770	1807	1774	1583		
Q Serve(g_s), s	6.9	0.0	14.6	14.8	3.2	7.9		
Cycle Q Clear(g_c), s	6.9	0.0	14.6	14.8	3.2	7.9		
Prop In Lane	1.00			0.17	1.00	1.00		
Lane Grp Cap(c), veh/h	930	2631	469	479	255	895		
V/C Ratio(X)	0.57	0.50	0.56	0.56	0.22	0.24		
Avail Cap(c_a), veh/h	930	2631	469	479	255	895		
HCM Platoon Ratio	2.00	2.00	1.00	1.00	1.00	1.00		
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00		
Uniform Delay (d), s/veh	2.0	0.0	36.4	36.5	43.5	12.6		
Incr Delay (d2), s/veh	2.6	0.7	4.7	4.7	1.9	0.6		
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0		
%ile BackOfQ(50%),veh/ln	3.3	0.2	7.7	8.0	1.7	10.0		
LnGrp Delay(d),s/veh	4.6	0.7	41.1	41.1	45.5	13.2		
LnGrp LOS	A	A	D	D	D	B		
Approach Vol, veh/h		1844	530		271			
Approach Delay, s/veh		1.8	41.1		19.8			
Approach LOS		A	D		B			
Timer	1	2	3	4	5	6	7	8
Assigned Phs				4		6	7	8
Phs Duration (G+Y+Rc), s				92.0		23.0	55.0	37.0
Change Period (Y+Rc), s				6.5		6.5	6.5	6.5
Max Green Setting (Gmax), s				85.5		16.5	48.5	30.5
Max Q Clear Time (g_c+I1), s				2.0		9.9	8.9	16.8
Green Ext Time (p_c), s				20.5		0.5	1.7	9.3
Intersection Summary								
HCM 2010 Ctrl Delay			11.5					
HCM 2010 LOS			B					

HCM 2010 Signalized Intersection Summary 3: DeBary Ave & Deltona Blvd



Movement	EBL	EBT	WBT	WBR	SBL	SBR		
Lane Configurations								
Volume (veh/h)	537	1216	438	69	77	335		
Number	7	4	8	18	1	16		
Initial Q (Qb), veh	0	0	0	0	0	0		
Ped-Bike Adj(A_pbT)	1.00			1.00	1.00	1.00		
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00		
Adj Sat Flow, veh/h/ln	1863	1863	1863	1900	1863	1863		
Adj Flow Rate, veh/h	584	1322	476	75	84	264		
Adj No. of Lanes	1	2	2	0	1	1		
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92		
Percent Heavy Veh, %	2	2	2	2	2	2		
Cap, veh/h	908	2585	773	121	231	874		
Arrive On Green	0.42	0.73	0.25	0.25	0.13	0.13		
Sat Flow, veh/h	1774	3632	3160	481	1774	1583		
Grp Volume(v), veh/h	584	1322	274	277	84	264		
Grp Sat Flow(s),veh/h/ln	1774	1770	1770	1778	1774	1583		
Q Serve(g_s), s	17.4	18.5	15.7	15.9	5.0	10.3		
Cycle Q Clear(g_c), s	17.4	18.5	15.7	15.9	5.0	10.3		
Prop In Lane	1.00			0.27	1.00	1.00		
Lane Grp Cap(c), veh/h	908	2585	446	448	231	874		
V/C Ratio(X)	0.64	0.51	0.61	0.62	0.36	0.30		
Avail Cap(c_a), veh/h	908	2585	446	448	231	874		
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00		
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00		
Uniform Delay (d), s/veh	11.3	6.7	38.0	38.1	45.6	13.8		
Incr Delay (d2), s/veh	3.5	0.7	6.2	6.3	4.4	0.9		
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0		
%ile BackOfQ(50%),veh/ln	9.2	9.1	8.4	8.6	2.7	12.4		
LnGrp Delay(d),s/veh	14.8	7.4	44.2	44.4	50.0	14.7		
LnGrp LOS	B	A	D	D	D	B		
Approach Vol, veh/h		1906	551		348			
Approach Delay, s/veh		9.6	44.3		23.2			
Approach LOS		A	D		C			
Timer	1	2	3	4	5	6	7	8
Assigned Phs				4		6	7	8
Phs Duration (G+Y+Rc), s				92.0		23.0	55.0	37.0
Change Period (Y+Rc), s				8.0		8.0	6.5	8.0
Max Green Setting (Gmax), s				84.0		15.0	48.5	29.0
Max Q Clear Time (g_c+I1), s				20.5		12.3	19.4	17.9
Green Ext Time (p_c), s				20.3		0.3	1.9	8.0
Intersection Summary								
HCM 2010 Ctrl Delay			18.1					
HCM 2010 LOS			B					
Notes								
User approved pedestrian interval to be less than phase max green.								

HCM 2010 TWSC
 5: DeBary Ave & Welcome Center

Intersection												
Int Delay, s/veh	0.5											

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	26	1277	3	7	486	14	1	0	7	15	1	13
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None									
Storage Length	300	-	-	0	-	-	-	-	-	-	-	0
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	93	93	93	93	93	93	93	93	93	93	93	93
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	28	1373	3	8	523	15	1	0	8	16	1	14

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	538	0	0	1376	0	0	1708	1984	688	1287	1977	269
Stage 1	-	-	-	-	-	-	1431	1431	-	545	545	-
Stage 2	-	-	-	-	-	-	277	553	-	742	1432	-
Critical Hdwy	4.14	-	-	4.14	-	-	7.54	6.54	6.94	7.54	6.54	6.94
Critical Hdwy Stg 1	-	-	-	-	-	-	6.54	5.54	-	6.54	5.54	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.54	5.54	-	6.54	5.54	-
Follow-up Hdwy	2.22	-	-	2.22	-	-	3.52	4.02	3.32	3.52	4.02	3.32
Pot Cap-1 Maneuver	1026	-	-	494	-	-	59	61	389	121	61	729
Stage 1	-	-	-	-	-	-	141	198	-	490	517	-
Stage 2	-	-	-	-	-	-	706	513	-	374	198	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1026	-	-	494	-	-	56	58	389	115	58	729
Mov Cap-2 Maneuver	-	-	-	-	-	-	116	146	-	235	143	-
Stage 1	-	-	-	-	-	-	137	193	-	477	509	-
Stage 2	-	-	-	-	-	-	680	505	-	357	193	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.2	0.2	17.3	16.7
HCM LOS			C	C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	301	1026	-	-	494	-	-	226	729
HCM Lane V/C Ratio	0.029	0.027	-	-	0.015	-	-	0.076	0.019
HCM Control Delay (s)	17.3	8.6	-	-	12.4	-	-	22.2	10
HCM Lane LOS	C	A	-	-	B	-	-	C	B
HCM 95th %tile Q(veh)	0.1	0.1	-	-	0	-	-	0.2	0.1

HCM 2010 TWSC
 5: DeBary Ave & Welcome Center

Intersection												
Int Delay, s/veh	1.5											

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	72	1263	3	7	496	19	1	0	7	60	1	13
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None									
Storage Length	300	-	-	0	-	-	-	-	-	-	-	0
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	93	93	93	93	93	93	93	93	93	93	93	93
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	77	1358	3	8	533	20	1	0	8	65	1	14

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	554	0	0	1361	0	0	1797	2084	681	1393	2075	277
Stage 1	-	-	-	-	-	-	1515	1515	-	559	559	-
Stage 2	-	-	-	-	-	-	282	569	-	834	1516	-
Critical Hdwy	4.14	-	-	4.14	-	-	7.54	6.54	6.94	7.54	6.54	6.94
Critical Hdwy Stg 1	-	-	-	-	-	-	6.54	5.54	-	6.54	5.54	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.54	5.54	-	6.54	5.54	-
Follow-up Hdwy	2.22	-	-	2.22	-	-	3.52	4.02	3.32	3.52	4.02	3.32
Pot Cap-1 Maneuver	1012	-	-	501	-	-	50	52	393	101	53	720
Stage 1	-	-	-	-	-	-	125	180	-	481	509	-
Stage 2	-	-	-	-	-	-	701	504	-	329	180	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1012	-	-	501	-	-	45	47	393	92	48	720
Mov Cap-2 Maneuver	-	-	-	-	-	-	98	125	-	200	125	-
Stage 1	-	-	-	-	-	-	115	166	-	444	501	-
Stage 2	-	-	-	-	-	-	675	496	-	298	166	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.5	0.2	18	28.1
HCM LOS			C	D

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1	SBLn2
Capacity (veh/h)	286	1012	-	-	501	-	-	198	720
HCM Lane V/C Ratio	0.03	0.077	-	-	0.015	-	-	0.331	0.019
HCM Control Delay (s)	18	8.9	-	-	12.3	-	-	31.9	10.1
HCM Lane LOS	C	A	-	-	B	-	-	D	B
HCM 95th %tile Q(veh)	0.1	0.2	-	-	0	-	-	1.4	0.1

HCM 2010 TWSC
 10: Deltona Blvd & Welcome Center

Intersection												
Int Delay, s/veh	1.5											

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	3	2	46	0	1	10	84	507	2	3	321	21
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	0	-	-	0	100	-	0	0	-	150
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	98	98	98	98	98	98	98	98	98	98	98	98
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	3	2	47	0	1	10	86	517	2	3	328	21

Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	1023	1023	328	1024	1023	517	328	0	0	517	0	0
Stage 1	334	334	-	689	689	-	-	-	-	-	-	-
Stage 2	689	689	-	335	334	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	214	236	713	214	236	558	1232	-	-	1049	-	-
Stage 1	680	643	-	436	446	-	-	-	-	-	-	-
Stage 2	436	446	-	679	643	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	198	219	713	188	219	558	1232	-	-	1049	-	-
Mov Cap-2 Maneuver	198	219	-	188	219	-	-	-	-	-	-	-
Stage 1	633	641	-	406	415	-	-	-	-	-	-	-
Stage 2	397	415	-	630	641	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	11.6	12.5	1.2	0.1
HCM LOS	B	B		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1232	-	-	206	713	219	558	1049	-	-
HCM Lane V/C Ratio	0.07	-	-	0.025	0.066	0.005	0.018	0.003	-	-
HCM Control Delay (s)	8.1	-	-	22.9	10.4	21.5	11.6	8.4	-	-
HCM Lane LOS	A	-	-	C	B	C	B	A	-	-
HCM 95th %tile Q(veh)	0.2	-	-	0.1	0.2	0	0.1	0	-	-

HCM 2010 TWSC
 10: Deltona Blvd & Welcome Center

Intersection												
Int Delay, s/veh	1.4											

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	3	2	47	0	1	13	86	527	2	6	337	21
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	0	-	-	0	75	-	0	0	-	150
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	98	98	98	98	98	98	98	98	98	98	98	98
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	3	2	48	0	1	13	88	538	2	6	344	21

Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	1070	1069	344	1070	1069	538	344	0	0	538	0	0
Stage 1	356	356	-	713	713	-	-	-	-	-	-	-
Stage 2	714	713	-	357	356	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	199	221	699	199	221	543	1215	-	-	1030	-	-
Stage 1	661	629	-	423	435	-	-	-	-	-	-	-
Stage 2	422	435	-	661	629	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	182	204	699	173	204	543	1215	-	-	1030	-	-
Mov Cap-2 Maneuver	182	204	-	173	204	-	-	-	-	-	-	-
Stage 1	613	625	-	392	403	-	-	-	-	-	-	-
Stage 2	381	403	-	610	625	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	11.8	12.6	1.1	0.1
HCM LOS	B	B		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	EBLn2	WBLn1	WBLn2	SBL	SBT	SBR
Capacity (veh/h)	1215	-	-	190	699	204	543	1030	-	-
HCM Lane V/C Ratio	0.072	-	-	0.027	0.069	0.005	0.024	0.006	-	-
HCM Control Delay (s)	8.2	-	-	24.5	10.5	22.7	11.8	8.5	-	-
HCM Lane LOS	A	-	-	C	B	C	B	A	-	-
HCM 95th %tile Q(veh)	0.2	-	-	0.1	0.2	0	0.1	0	-	-

HCM 2010 TWSC
13: Deltona Blvd & Dvwy

Intersection

Int Delay, s/veh 1.6

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Vol, veh/h	73	30	554	83	20	360
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	0	-	175	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	77	32	583	87	21	379

Major/Minor	Minor1	Minor2	Major1	Major2	Major3	Major4
Conflicting Flow All	1004	292	0	0	583	0
Stage 1	583	-	-	-	-	-
Stage 2	421	-	-	-	-	-
Critical Hdwy	6.63	6.93	-	-	4.14	-
Critical Hdwy Stg 1	5.83	-	-	-	-	-
Critical Hdwy Stg 2	5.43	-	-	-	-	-
Follow-up Hdwy	3.519	3.319	-	-	2.22	-
Pot Cap-1 Maneuver	253	705	-	-	987	-
Stage 1	522	-	-	-	-	-
Stage 2	661	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	246	705	-	-	987	-
Mov Cap-2 Maneuver	373	-	-	-	-	-
Stage 1	522	-	-	-	-	-
Stage 2	643	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	15.1	0	0.5
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	WBLn2	SBL	SBT
Capacity (veh/h)	-	-	373	705	987	-
HCM Lane V/C Ratio	-	-	0.206	0.045	0.021	-
HCM Control Delay (s)	-	-	17.1	10.3	8.7	0
HCM Lane LOS	-	-	C	B	A	A
HCM 95th %tile Q(veh)	-	-	0.8	0.1	0.1	-

HCM 2010 TWSC
 17: Welcome Center & Dvwy

Intersection

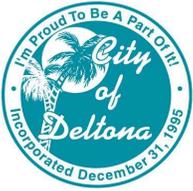
Int Delay, s/veh 4.5

Movement	EBL	EBR	NBL	NBT	SBT	SBR
Vol, veh/h	3	45	45	41	30	3
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	3	47	47	43	32	3

Major/Minor	Minor2		Major1		Major2	
Conflicting Flow All	171	33	35	0	-	0
Stage 1	33	-	-	-	-	-
Stage 2	138	-	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-	-
Pot Cap-1 Maneuver	819	1041	1576	-	-	-
Stage 1	989	-	-	-	-	-
Stage 2	889	-	-	-	-	-
Platoon blocked, %						
Mov Cap-1 Maneuver	794	1041	1576	-	-	-
Mov Cap-2 Maneuver	794	-	-	-	-	-
Stage 1	989	-	-	-	-	-
Stage 2	861	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	8.7	3.8	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1576	-	1021	-	-
HCM Lane V/C Ratio	0.03	-	0.049	-	-
HCM Control Delay (s)	7.4	0	8.7	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0.1	-	0.2	-	-



Agenda Memo

AGENDA ITEM:C.

TO: Mayor and Commission

AGENDA DATE: 2/15/2016

FROM: Jane K. Shang, City Manager

AGENDA ITEM: 9 - C

SUBJECT:

Public Hearing - Ordinance No. 10-2016, Amending Sections 14-281 through 14-285 of the Animal Ordinance, at first reading and to schedule second and final reading - Dale Baker, Deputy City Manager (386) 878-8852.

Strategic Goal: Public Safety, strengthen code enforcement.

LOCATION:

Citywide

BACKGROUND:

On March 16, 2015 the City Commission adopted Ordinance No. 02-2015 which authorized a one-year trial program for backyard chickens.

As part of the program the City Manager was to report the results of the trial program to the Commission. The City has received twelve (12) complaints over the past twelve (12) months about chickens. The complaints were for keeping chickens without a permit or having roosters.

We have not received any complaints on the twenty five (25) properties that have permits for keeping chickens.

Staff believes the trial program was a success and recommends keeping the program.

COST:

N/A

SOURCE OF FUNDS:

N/A

ORIGINATING DEPARTMENT:

Deputy City Manager

STAFF RECOMMENDATION PRESENTED BY:

Dale Baker, Deputy City Manager - Staff recommends that the City Commission adopt Ordinance No. 10-2016, as presented and schedule second and final reading for March 7, 2016.

POTENTIAL MOTION:

AGENDA ITEM:C.

“I move to approve Ordinance No. 10-2016, to revise Chapter 14, Animals of the City’s Code of Ordinances at first reading, and to schedule second and final reading of the Ordinance for March 7, 2016.”

ORDINANCE NO. 10-2016

AN ORDINANCE OF THE CITY OF DELTONA, FLORIDA, AMENDING ARTICLE VIII, "CHICKENS", OF CHAPTER 14 "ANIMALS", OF THE CODE OF THE CITY OF DELTONA; MAKING PERMANENT THE ALLOWANCE OF KEEPING CHICKENS WITH PERMIT; REMOVING REQUIREMENT TO REVIEW AFTER TRIAL PERIOD; AND PROVIDING FOR CONFLICTS, CODIFICATION, SEVERABILITY AND FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA:

SECTION 1: Article VIII, "Chickens", of Chapter 14, "Animals", of the Code of the City of Deltona, is hereby amended to read as follows:

ARTICLE VIII. - CHICKENS

Sec. 14-281. – Chicken permit.

A chicken permit shall be required for chickens to be kept, harbored, raised, or maintained in chicken coops as laying hens for eggs as accessory to a residential single-family structure, ("residence"), but only subject to the following:

- (1) No more than five chickens may be kept on a lot, with roosters prohibited.
- (2) The residence shall be owner-occupied.
- (3) The chicken permit applicant must sign a statement acknowledging that the chicken permit may be revoked for any violation of this article, and may be revoked if this article is amended in the future, and the City of Deltona will not be held responsible or liable for any losses to the applicant if such chicken permit is revoked.
- (4) Ducks, geese, turkeys, peafowl, or any other poultry or fowl are not allowed under the provisions of this section of the code.
- (5) Chickens and associated activities shall be kept for personal use only. Selling chickens, eggs, or chicken manure, or the breeding of chickens is prohibited.
- (6) The coop and enclosure must be screened from the neighbor's view, using an opaque fence.
- (7) The coop and enclosure must be located in the rear yard, as defined by the city's Code of Ordinances. No coop or enclosure shall be allowed in any front or side yard.

- (8) The coop or enclosure must comply with standard setbacks.
- (9) The coop and enclosure shall provide a minimum of four square feet per chicken to permit free movement of the chickens. The coop and enclosure may not be taller than five and one-half feet, measured from the natural grade, must be at least six inches lower than the fence to screen them, and must be easily accessible for cleaning and maintenance. A building permit is required under the Florida Building Code if the coop exceeds 100 square feet. The coop shall not exceed a maximum of 200 square feet.
- (10) The coop and enclosure shall be covered and ventilated, and a fence enclosure/run is required. The coop and enclosure must be completely secured from predators, including all openings, ventilation holes, doors and gates (fencing or roofing is required over the enclosure in addition to the coop, in order to protect the chickens from predators).
- (11) All stored feed must be kept in a rodent and predator-proof container.
- (12) Chickens shall be kept within a coop and enclosure from dusk until dawn. No person shall release or set any chicken free from such coop and enclosure unless under the supervision of a person, and no person shall slaughter a chicken.
- (13) Chicken coops and enclosures shall be maintained in a clean and sanitary condition at all times. Chickens shall not be permitted to create a nuisance consisting of odor, noise or pests, or contribute to any other nuisance condition.

Sec. 14-282. - Procedures for the granting of chicken permits.

The building and enforcement services director, under the direction of the city manager, is authorized and directed to administer the chicken permit process as follows:

- (1) A chicken permit will be issued once an applicant has completed an application, met all conditions, and staff concurs with the issuance of a chicken permit.
- (2) There will be a \$25.00 fee for the chicken permit and initial inspection.
- (3) Once a chicken permit has been issued for a chicken that is maintained under this section, the location will be subject to an annual inspection to ensure that the area is being maintained in a manner that is safe and sanitary for the animal and does not burden the neighbors of the residence.
- (4) If any condition of the chicken permit has been violated, the city may revoke the chicken permit immediately if the violation has not been remedied after seven days' notice, or if it is a repeat violation. The city is responsible for the determination of compliance with the requirements of this article. In matters of interpretation, the building and enforcement services director has the authority to determine compliance with the Code of Ordinances.

(5) A person aggrieved by a decision of the building and enforcement services director in the issuance, denial or revocation of a chicken permit may appeal to the city manager. A person aggrieved by a decision of the city manager may appeal to the city commission.

(6) Persons granted a chicken permit will be encouraged to attend an appropriate training session to learn safe chicken and egg practices.

Sec. 14-283. - Animals killing chickens.

No dog or cat that kills a chicken will, for that reason alone, be considered a dangerous or aggressive animal.

Sec. 14-284. - Not required for a zoning district.

A chicken permit is not required for the keeping of chickens in the A (agricultural) zoning district.

Sec. 14-285. - Reserved.

SECTION 2. CONFLICTS. All Ordinances or parts of Ordinances, insofar as they are inconsistent or in conflict with the provisions of this Ordinance, are hereby repealed to the extent of any conflict.

SECTION 3. CODIFICATION. The provisions of this Ordinance shall be codified as and become and be made a part of the Code of Ordinances of the City of Deltona. The sections of this Ordinance may be renumbered or relettered to accomplish such intention.

SECTION 4. SEVERABILITY. In the event that any portion or section of this Ordinance is determined to be invalid, illegal or unconstitutional by a court of competent jurisdiction, such decision shall in no manner affect the remaining portions or sections of this Ordinance on which shall remain in full force and effect.

SECTION 5. EFFECTIVE DATE. This Ordinance shall take effect immediately upon its final passage and adoption.

PASSED AND ADOPTED THIS ____ DAY OF _____, 2016.

FIRST READING: _____

ADVERTISED: _____

SECOND READING: _____

JOHN C. MASIARCZYK SR., MAYOR

ATTEST:

JOYCE RAFTERY, CITY CLERK

Approved as to form and legality for use
and reliance by the City of Deltona, Florida

GRETCHEN R. H. VOSE, CITY ATTORNEY

ORDINANCE NO. 02 – 2015

AN ORDINANCE OF THE CITY OF DELTONA, FLORIDA, AMENDING CHAPTER 14, "ANIMALS," BY ADDING ARTICLE VII "CHICKENS" PROVIDING FOR A ONE YEAR TRIAL PERIOD FOR THE ISSUANCE OF A LIMITED NUMBER OF SPECIAL PERMITS WHICH ALLOW THE KEEPING OF CHICKENS IN LIMITED NUMBERS AND UNDER SPECIFIC CONDITIONS, PROVIDING FOR CONFLICTS, CODIFICATION, SEVERABILITY AND FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA:

SECTION 1. Chapter 14, "Animals" of the Code of Ordinances of the City of Deltona is hereby amended by adding Article VII, "Chickens" to read as follows:

Article VII. Chickens

Sec. 14-280. A one-year trial period for the keeping of chickens shall be instituted. No more than twenty-five (25) trial period special permits may be granted for chickens to be kept, harbored, raised, or maintained in Chicken coops as laying hens for eggs as accessory to a residential single-family structure, ("Residence"), but only subject to the following:

(a) No more than five (5) chickens may be kept on a lot, with roosters prohibited.

(b) The Residence shall be owner-occupied.

(c) The special permit applicant must sign a statement acknowledging that the special permit may be revoked at the end of the one year trial period if the program is not continued in the city, or for any violation of this ordinance, and may be revoked if this ordinance is amended in the future, and the City of Deltona will not be held responsible or liable for any losses to the applicant if such special permit is revoked.

(d) Ducks, geese, turkeys, peafowl, or any other poultry or fowl are not allowed under the provisions of this section of the code.

(e) Chickens and associated activities shall be kept for personal use only. Selling chickens, eggs, or chicken manure, or the breeding of chickens is prohibited.

(f) The coop and enclosure must be screened from the neighbor's view, using

an opaque fence.

(g) The coop and enclosure must be located in the rear yard, as defined by the City's Code of Ordinances. No coop or enclosure shall be allowed in any front or side yard.

(h) The coop or enclosure must comply with standard setbacks.

(i) The coop and enclosure shall provide a minimum of four (4) square feet per chicken to permit free movement of the chickens. The coop and enclosure may not be taller than five and one-half (5 1/2) feet, measured from the natural grade, must be at least six (6) inches lower than the fence to screen them, and must be easily accessible for cleaning and maintenance. A building permit is required under the Florida Building Code if the coop exceeds 100 square feet. The coop shall not exceed a maximum of 200 square feet.

(j) The coop and enclosure shall be covered and ventilated, and a fence enclosure/run is required. The coop and enclosure must be completely secured from predators, including all openings, ventilation holes, doors and gates (fencing or roofing is required over the enclosure in addition to the coop, in order to protect the chickens from predators).

(k) All stored feed must be kept in a rodent and predator-proof container.

(l) Chickens shall be kept within a coop and enclosure from dusk until dawn. No person shall release or set any chicken free from such coop and enclosure unless under the supervision of a person, and no person shall slaughter a chicken.

(m) Chicken coops and enclosures shall be maintained in a clean and sanitary condition at all times. Chickens shall not be permitted to create a nuisance consisting of odor, noise or pests, or contribute to any other nuisance condition.

Sec. 14-281. *Procedures for the granting of special permits for keeping chickens.* The Building and Enforcement Services Director, under the direction of the City Manager, is authorized and directed to administer the special permit process for the keeping of chickens as follows:

- (1) A special permit will be issued once an applicant has completed an application, met all conditions, and staff concurs with the issuance of a special permit.
- (2) There will be a \$25.00 fee for the special permit and initial inspection.
- (3) Once a special permit has been issued for a chicken that is maintained under this section, the location will be subject to an annual inspection to ensure that the area is being maintained in a manner that is safe and sanitary for the animal and does not burden the neighbors of the Residence.
- (4) If any condition of the special permit has been violated, the city may revoke

- the special permit immediately if the violation has not been remedied after seven (7) days' notice, or if it is a repeat violation. The city is responsible for the determination of compliance with the requirements of this article. In matters of interpretation, the Building and Enforcement Services Director has the authority to determine compliance with the Code of Ordinances.
- (5) A person aggrieved by a decision of the Building and Enforcement Services Director in the issuance, denial or revocation of a special permit may appeal to the City Manager. A person aggrieved by a decision of the City Manager may appeal to the City Commission.
 - (6) Persons granted a special permit will be encouraged to attend an appropriate training session to learn safe chicken and egg practices.

Sec. 14-282. *Animals killing chickens.* No dog or cat that kills a chicken will, for that reason alone, be considered a dangerous or aggressive animal.

Sec. 14-283. *Not required for A zoning district.* A special permit is not required for the keeping of chickens in the A (agricultural) zoning district.

Sec. 14-284. *Review after one year trial period.* The Building and Enforcement Services Department will track complaints and compliance issues regarding the special permits during the one year trial period and make a report to the City Commission as to the results. The City Commission will review the results after the completion of the one year trial period and take action as deemed appropriate by the City Commission.

SECTION 2. CONFLICTS. All Ordinances or parts of Ordinances insofar as they are inconsistent or in conflict with the provisions of this Ordinance are hereby repealed to the extent of any conflict.

SECTION 3. CODIFICATION. The provisions of this Ordinance shall be codified as and become and be made a part of the Code of Ordinances of the City of Deltona. The sections of this Ordinance may be renumbered or relettered to accomplish such intention.

SECTION 4. SEVERABILITY. In the event that any portion or section of this Ordinance is determined to be invalid, illegal or unconstitutional by a court of competent jurisdiction, such decision shall in no manner affect the remaining portions or sections of this Ordinance which shall remain in full force and effect.

SECTION 5. EFFECTIVE DATE. This Ordinance shall take effect immediately upon its final passage and adoption.

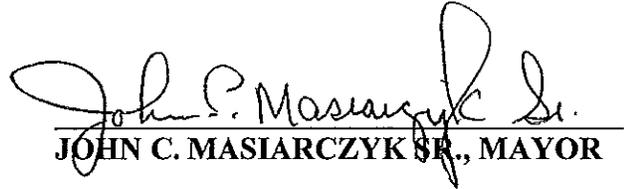
Certified

PASSED AND ADOPTED THIS 16th DAY OF March, 2015.

FIRST READING: 3.2.15

ADVERTISED: 3.5.15

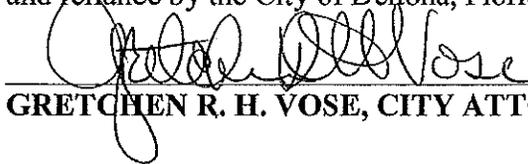
SECOND READING: 3.16.15


JOHN C. MASIARCZYK SR., MAYOR

ATTEST:


JOYCE RAFTERY, CMC, CITY CLERK

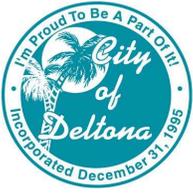
Approved as to form and legality for use
and reliance by the City of Deltona, Florida


GRETCHEN R. H. VOSE, CITY ATTORNEY

NAME	YES	NO
HERZBERG	✓	
HONAKER	✓	
NABICHT		✓
SMITH	✓	
SOUKUP	✓	
SCHLEICHER		✓
MASIARCZYK	✓	

STATE OF FLORIDA
COUNTY OF VOLUSIA
This is to certify that the
foregoing is a true and correct copy of
Ordinance No. 02-2015
witness my hand and official Seal this
17th day of MARCH 20 15

Joyce Raftery, CMC
City Clerk, City of Deltona, Florida



Agenda Memo

AGENDA ITEM:D.

TO: Mayor and Commission

AGENDA DATE: 2/15/2016

FROM: Jane K. Shang, City Manager

AGENDA ITEM: 9 - D

SUBJECT:

Public Hearing - Resolution No. 2016-07, Request to Vacate Land Associated with the Davis Park Sixth Addition Subdivision. - Chris Bowley, Planning and Development Services, (386) 878-8602.

Strategic Goal: Economic Development; Focus on Howland Blvd. as the Gateway for Commercial Growth.

LOCATION:

The property is located ±300 feet north of the intersection of Howland Blvd and Dr. Martin Luther King Blvd.

BACKGROUND:

The City of Deltona has received an application to vacate the following legally described area: Lots 1 through 23, Block 1 and Lots 1 through 23 Block 10, Davis Park Sixth Addition, MB 7 Page 25 and vacate that part of Illinois Ave. a 60' right-of-way located south of Lot 23 Block 1 Davis Park, Sixth Addition MB 7 Page 25 and north of Lot 1, Block 10, Davis Park, Sixth Addition, MB 7 Page 25. The area is currently public right-of-way/land between unified ownership lots and the proposed vacation will make for a contiguous tract. See the attached staff report for a graphic depiction of the area.

COST:

N/A

SOURCE OF FUNDS:

N/A

ORIGINATING DEPARTMENT:

Planning and Development Services

STAFF RECOMMENDATION PRESENTED BY:

Ron A. Paradise, Assistant Director, Planning and Development Services - Staff recommends approving Resolution No. 2016-07, vacating the following legally described area: Lots 1 through 23, Block 1 and Lots 1 through 23 Block 10, Davis Park Sixth Addition, MB 7 Page 25 and vacate that part of Illinois Ave. a 60' right-of-way located south of Lot 23 Block 1 Davis Park, Sixth Addition MB 7 Page 25 and north of Lot 1, Block 10, Davis Park, Sixth Addition, MB 7 Page 25.

POTENTIAL MOTION:

"I hereby move to approve Resolution No. 2016-07, vacating the following legally described area:

AGENDA ITEM:D.

Lots 1 through 23, Block 1 and Lots 1 through 23 Block 10, Davis Park Sixth Addition, MB 7 Page 25 and vacate that part of Illinois Ave. a 60' right-of-way located south of Lot 23 Block 1 Davis Park, Sixth Addition MB 7 Page 25 and north of Lot 1, Block 10, Davis Park, Sixth Addition, MB 7 Page 25.”

RESOLUTION NO. 2016-07

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DELTONA, VOLUSIA COUNTY FLORIDA, VACATING BLOCKS, LOTS, AND A SEGMENT OF A RIGHT OF WAY IN THE DAVIS PARK 6th ADDITION SUBDIVISION AS RECORDED IN MAP BOOK 7, PAGE 25 OF THE PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, LOCATED NORTH OF THE INTERSECTION OF MARTIN LUTHER KING BLVD. AND HOWLAND BLVD., PROVIDING FOR CONFLICTS, SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 106-32 of the Deltona Code of Ordinances was adopted by the City Commission and is known as “Vacation of Platted Subdivisions”; and

WHEREAS, The owner of the following property submitted an application to vacate the following blocks, lots and right of way segment of the Davis Park 6th Addition subdivision Map Book 7 Page 25 public records of Volusia County: Lots 1 through 23 Block 1; Lots 1 through 23 Block 10, and vacating the following right of way segment of the Davis Park 6th Addition subdivision Map Book 7, Page 25: That part of Illinois Avenue, a 60’ foot right of way, according to the plat of Davis Park 6th Addition, as recorded in Map Book 7, Page 25, of the Public Records of Volusia County, Florida, lying south of Lot 23 Block 1 and north of Lot 1 Block 10 Davis Park 6th Addition.

WHEREAS, The City Commission of the City of Deltona has the power and authority to vacate and abandon entire or portions of plats under constitutional home rule powers and Chapter 166, Florida Statutes; and

WHEREAS, The City Commission of the City of Deltona has determined that it is the best interest and welfare of the City of Deltona and the citizens thereof to vacate and abandon the subject lots and section of right of way associated with the Davis Park 6th Addition subdivision.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA:

Section 1. Vacating the following blocks and lots of the Davis Park 6th Addition subdivision, Map Book 7 Page 25 public records of Volusia County: Lots 1 through 23 Block 1; Lots 1 through 23 Block 10, and vacating the following right of way segment of the Davis Park 6th Addition subdivision Map Book 7, Page 25: That part of Illinois Avenue, a 60' foot right of way, according to the plat of Davis Park 6th Addition, as recorded in Map Book 7, Page 25, of the Public Records of Volusia County, Florida, lying south of Lot 23 Block 1 and north of Lot 1 Block 10 Davis Park 6th Addition.

Section 2. Conflicts. All Resolutions or parts of Resolutions insofar as they are inconsistent or in conflict with the provisions of this Resolution are hereby repealed to the extent of any conflict.

Section 3. Severability. In the event that any portion or section of this Resolution is determined to be invalid, illegal or unconstitutional by a court of competent jurisdiction, such decision shall in no manner affect the remaining portions of sections of this Resolution which shall remain in full force and effect.

Section 4. Effective Date. This resolution shall take effect immediately upon its final adoption by the City Commission.

**PASSED AND ADOPTED BY THE CITY COMMISSION OF THE CITY OF
DELTONA, FLORIDA THIS ____ DAY OF _____ 2016.**

BY: _____
JOHN C. MASIARCZYK, SR., Mayor

ATTEST:

JOYCE RAFTERY, CMC, MMC, City Clerk

Approved as to form and legality for use
and reliance of the City of Deltona, Florida

GRETCHEN R. H. VOSE, ESQ., City Attorney

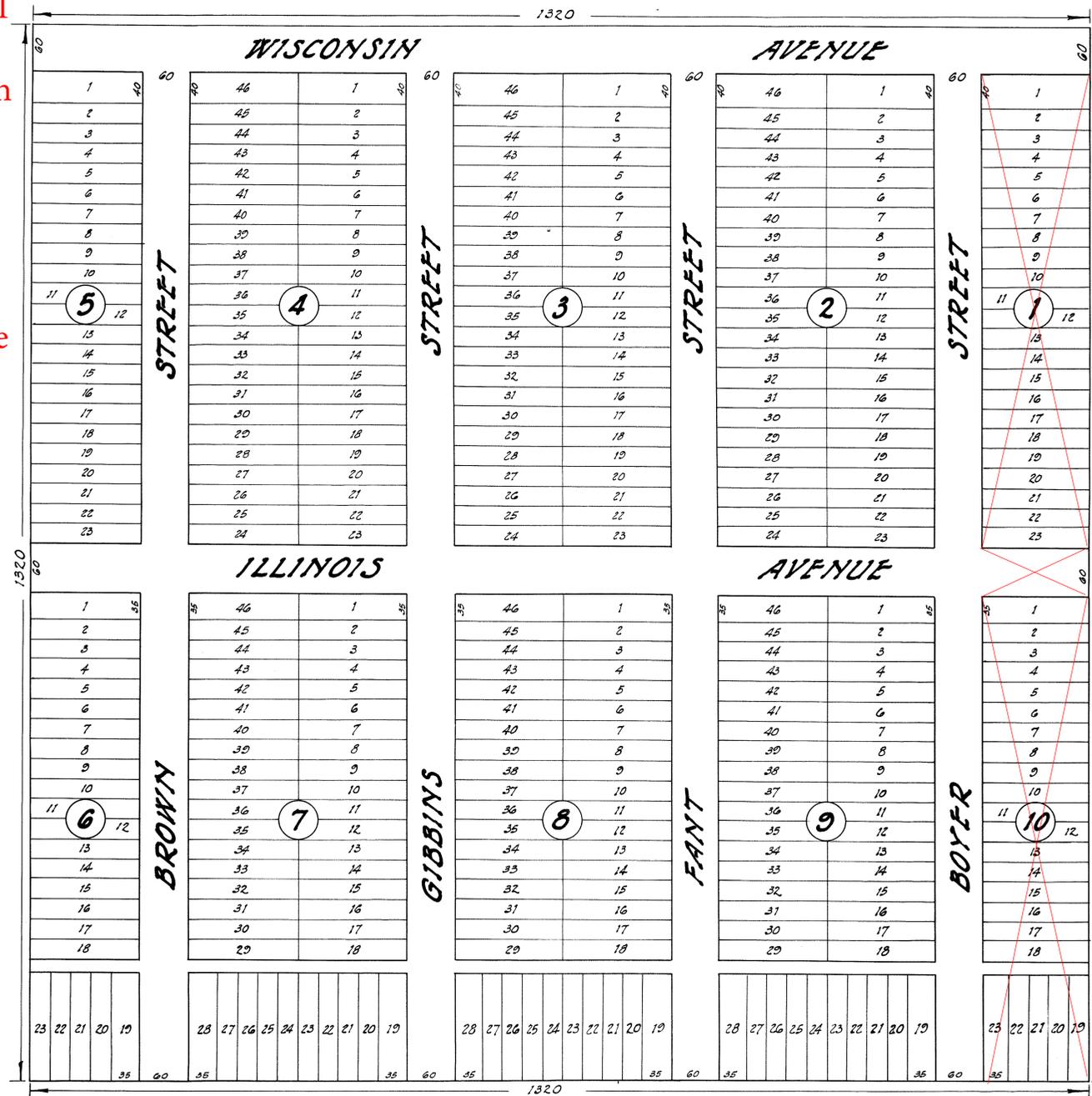
Sec. 177.101 F.S.
 For recorded subdivision
 vacation, annulment or
 replat information see:
 Plat Book _____, Page _____
 O.R. Book 2367, Page 252
 DIANE M. MATOUSEK
 Clerk of Circuit Court
 E. Whitaker D.C.

**LEGAL DESCRIPTION
 FOR VACATED
 AREAS**

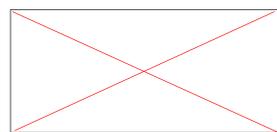
Lots 1 through 23, Block 1
 and Lots 1 through 23
 Block 10, Davis Park Sixth
 Addition, MB 7 Page 25
 and Vacate that part of
 Illinois Av. a 60' right of
 way located south of Lot
 23 Block 1 Davis Park,
 Sixth Addition MB 7 Page
 25 and north of Lot 1,
 Block 10, Davis Park,
 Sixth Addition, MB 7
 Page 25

DAVIS PARK
 SIXTH ADDITION TO ORANGE CITY
 VOLUSIA COUNTY, FLA.

A subdivision of the South half of the Government Lot Nine (9)
 in Section Five (5), Township 18 South, Range 31 East.



Scale: 1 inch = 100 feet.



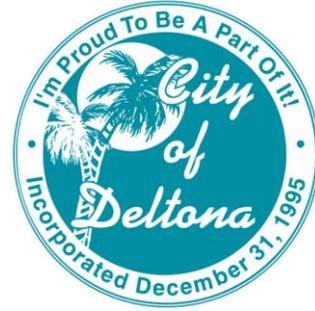
AREAS TO BE VACATED

State of Florida
 County of Volusia
 This day personally appeared before me Walter E. Davis
 who being duly sworn deposes and says that he is the owner
 of the land described in the foregoing plat and that the
 said plat was made for him at his request and that he believes
 said plat to be correct in every respect. Walter E. Davis
 Sworn and subscribed before me this 20th day of Feb. 7. 1925
 Lauretta E. Spodgrass
 Notary Public
 My Commission expires Oct. 21, 1928
 Certified Correct at De Land, Florida, Feb. 20th 1925
 J.C.M. Valentine
 County Surveyor, Volusia County, Florida
 Registered Engineer, Fla. Certificate No. 500

All lots 25' wide and 135' long except those
 marked otherwise.
 Streets and Avenues 60' wide.

Filed 1925
 Saml D. Jordan, clk.
 W. E. Davis - D.C.

**A TRUE COPY
 OF MAP IN
 Map Book No 7
 Page 25**
 Clerk Circuit Court
 by: _____
 Deputy Clerk



Staff Report

To: City Commission

From: Ron A. Paradise, Assistant Director, Planning and Development Services

Date: January 15, 2016

Re: EZ15-004/Resolution 2016-07

A. Summary of Application: Request to Vacate Lots 1 through 23, Block 1 and Lots 1 through 23 Block 10, Davis Park Sixth Addition, MB 7 Page 25 and Vacate that part of Illinois Av. a 60' right of way located south of Lot 23 Block 1 Davis Park, Sixth Addition MB 7 Page 25 and north of Lot 1, Block 10, Davis Park, Sixth Addition, MB 7 Page 25.

Applicant: Dennis J. Casey, owner.

Tax Parcel No.: 8105-14-01-0010, 8105-14-10-00-0010, and 8105-14-10-0190

Property Acreage: ±3.62 Acres of platted lots and ±0.18 acre of right of way.

Property Location: The property is located about 300 feet north of the Howland Blvd. corridor north of Fire Station 65.

B. Legal Description: Lots 1 through 23, Block 1 and Lots 1 through 23 Block 10, Davis Park Sixth Addition, MB 7 Page 25 and Vacate that part of Illinois Av. a 60' right of way located south of Lot 23 Block 1 Davis Park, Sixth Addition MB 7 Page 25 and north of Lot 1, Block 10, Davis Park, Sixth Addition, MB 7 Page 25.

C. Existing Zoning: RM-1

D. Background: The lots and right of way proposed to be vacated are part of an antiquated subdivision known as Davis Park. Davis Park was recoded with Volusia County in 1925. While the land was platted with lots and roads, none of the roads were improved and no other infrastructure was developed to serve the recorded Davis Park lots. Notwithstanding these deficiencies, lots and blocks within Davis Park were sold to various individual owners. Currently, to facilitate use of Davis Park lands, there have been efforts to assemble individual

ownerships to amass enough land to accommodate development. However, lots and certain right of ways may need to be vacated to accommodate modern development proposals. Therefore, under Chapter 106 of the City Land Development Code there has been an application made to vacate the aforementioned Davis Park lots and right of way.

E. Support Information

Public Facilities:

- a. Potable Water: Volusia County Utilities (Deltona North)
- b. Sanitary Sewer: Volusia County Utilities (Deltona North)
- c. Fire Protection: Fire station 65 is the nearest City fire fighting facility.
- d. Law Enforcement: Volusia County Sheriff's Office (VCSO)
- e. Electricity: Duke Energy

F. Matters for Consideration:

1. Whether it is consistent with all adopted elements of the Comprehensive Plan.

Policy FLU1-7.19

The City of Deltona shall use the appropriate regulatory mechanisms to resolve conflicts between platted lands and the Comprehensive Plan and address the problems of lands which are platted, but possess limitations to development based upon inadequate public facilities and services, substandard lot configurations, or environmental constraints. 9J-5.006(3)(c)(1,7)

The above policy addresses platted land conflicts. The request for vacation of the lots and right of way represents an appropriate regulatory method to address such conflicts and would be consistent with this provision.

2. Its impact upon the environment or natural resources.

Non-applicable

3. Its impact upon the economy of any affected area.

The action involves a vacation of a certain lots and right of way within an antiquated subdivision. While the action will have no immediate impact on the economy, the requested vacation represents an initial step towards the ultimate development of the site.

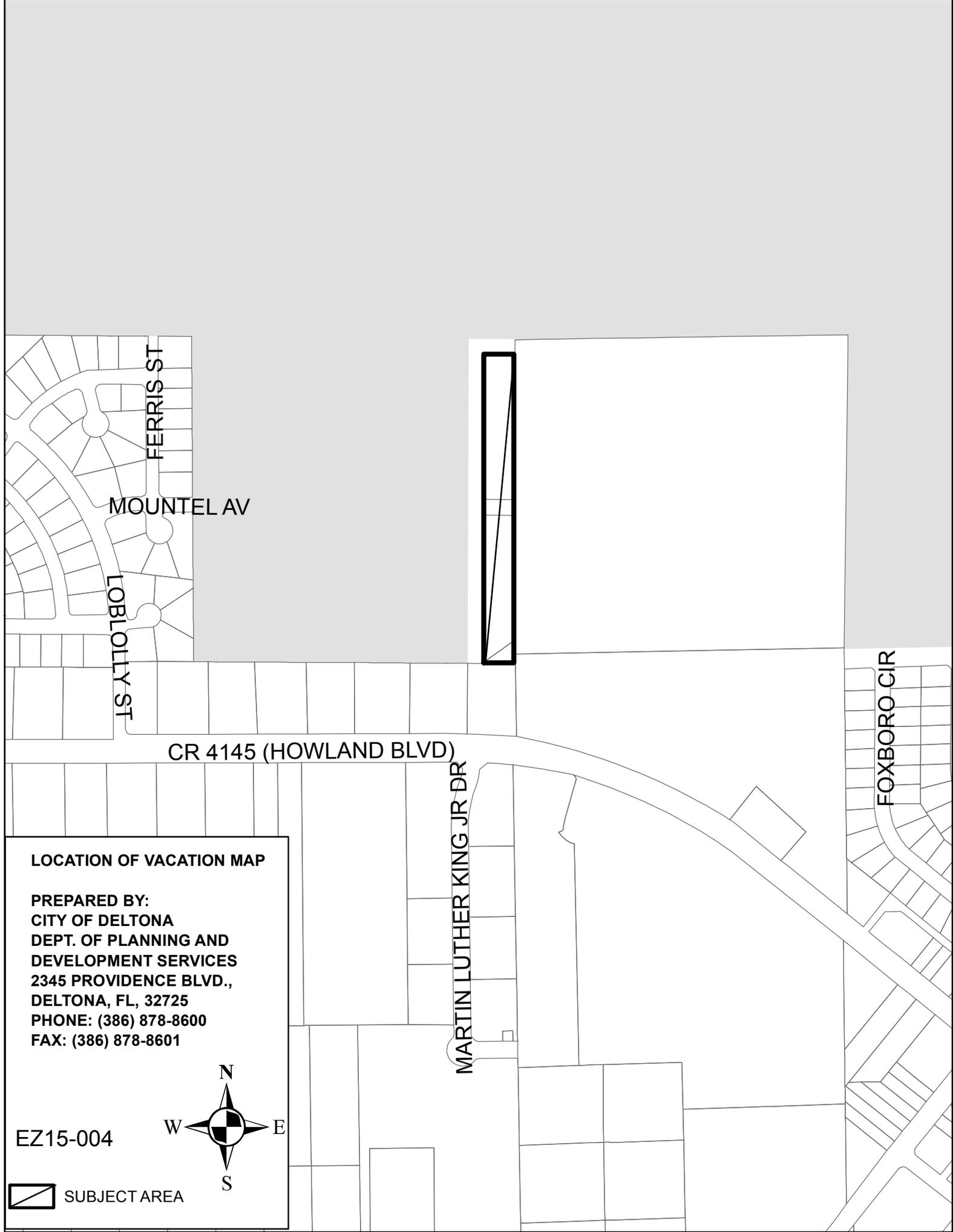
4. Notwithstanding the provisions of Article XIV of the Land Development Code, Ordinance No. 92-25 [Chapter 86, Code of Ordinances] as it may be amended

from time to time, its impact upon necessary governmental services, such as schools, sewage disposal, potable water, drainage, fire and police protection, solid waste or transportation systems.

- a. **Schools:** The property is located just east of an undeveloped school site. The Volusia County School District Staff was requested to comment on the proposed vacation. The School District Staff had no comment on the vacation application.
 - b. **Sewage Disposal:** Non-applicable
 - c. **Potable Water:** Non-applicable
 - d. **Drainage:** Non-applicable
 - e. **Transportation Systems:** Non-applicable
- 5. Any changes in circumstances or conditions affecting the area:** None
- 6. Any mistakes in the original classification:** Non-applicable; this application is not a rezoning application.
- 7. Its effect upon the public health, welfare, safety, or morals:** The vacation application involves the vacation of lots within an antiquated subdivision. The applicant is also requesting the vacation of a small segment of public right of way totaling approximately 8,100 square feet. The City has reviewed the right of way proposed for vacation and has determined that the City has no interest in retaining the subject right of way to be vacated. Therefore, the proposed vacation of the lots and right of way would have no adverse effect upon the public, health, welfare, safety or morals of the community.

CONCLUSION/STAFF RECOMMENDATION:

- G.** Staff recommends that consistent with Section 106-32 of the City Land Development Code, Resolution 2016-07 be approved to vacate the following: Lots 1 through 23, Block 1 and Lots 1 through 23 Block 10, Davis Park Sixth Addition, MB 7 Page 25 and Vacate that part of Illinois Av. a 60' right of way located south of Lot 23 Block 1 Davis Park, Sixth Addition MB 7 Page 25 and north of Lot 1, Block 10, Davis Park, Sixth Addition, MB 7 Page 25.



FERRIS ST

MOUNTEL AV

LOBLOLTY ST

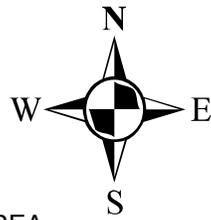
CR 4145 (HOWLAND BLVD)

MARTIN LUTHER KING JR DR

FOXBORO CIR

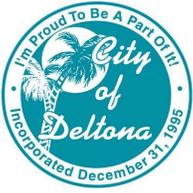
LOCATION OF VACATION MAP

PREPARED BY:
CITY OF DELTONA
DEPT. OF PLANNING AND
DEVELOPMENT SERVICES
2345 PROVIDENCE BLVD.,
DELTONA, FL, 32725
PHONE: (386) 878-8600
FAX: (386) 878-8601



EZ15-004

 SUBJECT AREA



Agenda Memo

AGENDA ITEM:E.

TO: Mayor and Commission

AGENDA DATE: 2/15/2016

FROM: Jane K. Shang, City Manager

AGENDA ITEM: 9 - E

SUBJECT:

Request to authorize the City Manager to expend up to \$2,150,000 on various planned transportation projects (road resurfacing, sidewalks, Tivoli, E. Normandy) and to use Transportation Fund reserves until bond proceeds are received and to approve Resolution No. 2016-11 to establish the budget to allow the City to continue to move forward with the Transportation CIP Program - Robert Clinger, Finance Department (386) 878-8552

Strategic Goal: Infrastructure - Implement Phase I of the Transportation CIP program.

LOCATION:

N/A

BACKGROUND:

At the Commission Workshop held on November 23, 2015, the City Commission expressed the desire to move forward with planning, financing and construction of several road projects to include sidewalks, road resurfacing, and widening, etc.

In an effort to expedite work on these projects this agenda item authorizes the City Manager to use Transportation Fund reserves until bond proceeds are received and amends the City's FY 2015/2016 Budget to allow the necessary expenditure of funds.

COST:

\$2,150,000

SOURCE OF FUNDS:

Initially Transportation Fund reserves, ultimately bond proceeds.

ORIGINATING DEPARTMENT:

Finance

STAFF RECOMMENDATION PRESENTED BY:

Robert Clinger, Finance Director - Recommends authorizing the City Manager to use Transportation Fund reserves until bond proceeds are received in order to continue moving forward with the City's Transportation CIP Program, and to approve Resolution No. 2016-11 to amend the City's FY 2015/2016 Budget to establish the budget to continue various projects within the Transportation CIP Program.

AGENDA ITEM:E.

POTENTIAL MOTION:

“I move to authorize the City Manager to use Transportation Fund reserves until bond proceeds are received in order to continue moving forward with the City’s Transportation CIP Program and to approve Resolution No. 2016-11 to amend the City’s FY 2015/2016 Budget to establish the budget to continue various projects within the Transportation CIP Program.

RESOLUTION NO. 2016-11

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA; AMENDING THE ANNUAL TRANSPORTATION FUND BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2015, AND ENDING SEPTEMBER 30, 2016, BY ADJUSTING FUND BALANCE AND EXPENSES; REPEALING ALL RESOLUTIONS OR PARTS OF RESOLUTIONS IN CONFLICT HEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on September 21, 2015, City Commission adopted a budget for the 2015-2016 fiscal year specifying certain projected revenues and expenditures; and

WHEREAS, from time-to-time circumstances and events may require the original budget to be revised; and

WHEREAS, Section 6.3 of the Charter of the City of Deltona, Florida provides for Appropriation Amendments During the Fiscal Year upon written request of the City Manager, and the City Council may, by resolution approve (a) Supplemental Appropriations, (b) Reduction of Appropriations, and (c) Transfer of Appropriations; and

WHEREAS, based on a review, the City Manager has delivered a recommended budget amendment for the 2015-2016 fiscal year; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA, as follows:

Section 1. That the annual operating budget of the City of Deltona's

Transportation Fund as adopted for the fiscal year beginning October 1, 2015, is hereby revised and amended to provide for appropriations to continue with the City's Transportation CIP Program as provided in Exhibit "A", attached hereto and incorporated herein by this reference.

Section 2. That all resolutions or parts of resolutions in conflict herewith be repealed.

Section 3. This resolution shall take effect immediately upon its final adoption by the City Commission.

**PASSED AND ADOPTED BY THE CITY COMMISSION OF THE CITY
OF DELTONA, FLORIDA, THIS _____ DAY OF _____, 2016.**

BY: _____
JOHN C. MASIARCZYK, SR., Mayor

ATTEST:

JOYCE RAFTERY, City Clerk

Approved as to form and legality for use and
reliance of the City of Deltona, Florida:

GRETCHEN R.H. VOSE, City Attorney

City of Deltona

Exhibit A

Budget Amendment

Fiscal Year 2015-2016

Amendment #: 2016-19 Date: February 15, 2016

Fund: Transportation Fund Agenda Item: _____

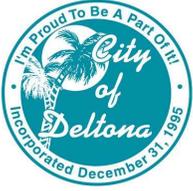
		Increase	Decrease
Account #:	109410 631021	1,500,000	-
Description:	<u>ROAD RESURFACING</u>		
Account #:	109410 631001	250,000	
Description:	<u>SIDEWALKS</u>		
Account #:	109653 650100 33051	240,000	
Description:	<u>TIVOLI(SAXON2PROVIDENCE BLVD)</u>		
Account #:	109653 650100 33066	160,000	
Description:	<u>E NORMANDY(FARRINGTON-QUINCY)</u>		
Account #:		Amount:	
Description:	_____		
Account #:		Amount:	
Description:	_____		
Account #:		Amount:	
Description:	_____		
Account #:		Amount:	
Description:	_____		
Account #:		Amount:	
Description:	_____		
Description:	This amendment results in a net decrease in Budgetary Fund Balance of \$2,150,000.		

Reason: **To set up budget for additional projects to be funded by a 2016 bond issue.**

ATTEST:

Joyce Raftery, City Clerk

John C. Masiarczyk, Sr., Mayor



Agenda Memo

AGENDA ITEM:F.

TO: Mayor and Commission

AGENDA DATE: 2/15/2016

FROM: Jane K. Shang, City Manager

AGENDA ITEM: 9 - F

SUBJECT:

Request for approval of Resolution No. 2016-05, Expressing Support for an Innovative Traffic Signal Technologies Pilot Project - Becky Vose, Legal Department, (407) 448-0111.

LOCATION:

Citywide

BACKGROUND:

The City of Deltona's continued growth and prosperity depends on a transportation system that can safely and efficiently move an ever greater volume of people and goods. A new federal transportation bill is being drafted by Congress to replace MAP-21 and it is expected to include funding for one or more pilot projects to accelerate the deployment of innovative traffic signal technologies.

In anticipation of this new federal funding opportunity, it is in the best interests of the City of Deltona to join with neighboring governmental entities to prepare for submitting a region-wide grant application for an innovative traffic signal technology pilot program.

Congressman Mica has called this opportunity to our attention and has offered to lend his support with obtaining federal discretionary funds to conduct one or more pilot projects using innovative traffic signal technologies.

This resolution expresses Deltona's support for an Intelligent Transportation System (ITS) Master Plan.

COST:

N/A

SOURCE OF FUNDS:

N/A

ORIGINATING DEPARTMENT:

Legal Department

STAFF RECOMMENDATION PRESENTED BY:

Becky Vose, City Attorney - Recommends that the City Commission approve Resolution No. 2016-05.

AGENDA ITEM:F.

POTENTIAL MOTION:

“I move to approve Resolution No. 2016-05, Expressing Support for an Innovative Traffic Signal Technologies Pilot Project.”

RESOLUTION NO. 2016-05

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA, EXPRESSING SUPPORT FOR AN INNOVATIVE TRAFFIC SIGNAL TECHNOLOGIES PILOT PROJECT, AND PROVIDING FOR CONFLICTS; SEVERABILITY; AND EFFECTIVE DATE.

WHEREAS, the City of Deltona's continued growth and prosperity depends on a transportation system that can safely and efficiently move an ever greater volume of people and goods; and

WHEREAS, there are limited opportunities for building new roads in densely developed, urbanized areas while further expanding existing arterials may not be cost feasible in terms of right-of-way and can be contrary to community interests; and

WHEREAS, to meet these challenges, more emphasis is being placed on other solutions such as transit, non-motorized transportation and the use of transportation system management and operations strategies to optimize utilization of existing arterials; and

WHEREAS, traffic signals play a critical role in moving vehicles on arterials while also providing for the safety of pedestrians and bicyclists; and

WHEREAS, advances in traffic signal technology and related traffic management practices have been shown to improve utilization of urban arterials and reduce travel time delays, which is the goal of an effective transportation system management and operations program; and

WHEREAS, one such advance has been made with adaptive traffic signal technology which results in traffic signals being operated based on information from roadside devices whose effectiveness can be confirmed with probe vehicle technology such as electronic toll transponders or Bluetooth-enabled devices within vehicles; and

WHEREAS, the Intelligent Transportation System (ITS) Master Plan will serve as the basis for making prudent investment decisions with federal, state and local funds that will improve transportation system management and operations; and

WHEREAS, a new federal transportation bill is being drafted by Congress to replace MAP-21 and it is expected to include funding for one or more pilot projects to accelerate the deployment of innovative traffic signal technologies; and

WHEREAS, Congressman Mica has called this opportunity to our attention and has offered to lend his support with obtaining federal discretionary funds to conduct one or more pilot projects using innovative traffic signal technologies; and

WHEREAS, once a new federal transportation bill is approved by Congress and the President, it is expected that the United States Department of Transportation will develop specific information on pilot projects such as criteria that will be used for evaluation/selection, procedures for submitting grant applications, funding match requirements, etc.; and

WHEREAS, the United States Department of Transportation's discretionary grant programs are highly competitive and applications selected for funding must be well-defined, have a broad base of support and hold promise for delivering positive results that can be replicated elsewhere;

THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA AS FOLLOWS:

SECTION 1. Findings.

1. In anticipation of this new federal funding opportunity, it is in the best interests of the City of Deltona to join with neighboring governmental entities to prepare for submitting a region-wide grant application for an innovative traffic signal technology pilot program; and

2. The City of Deltona is in full support of its staff working closely with the Florida Department of Transportation/District 5, along with the region's other local governments, to develop a competitive grant application to obtain federal funding for one or more pilot projects to evaluate the benefits of innovative traffic signal technologies; and

3. It would be advantageous to the City of Deltona to have a centralized traffic management center that is managed by multiple users in a collaborative manner to allow for shared staffing through centrally held contracts, greater interoperability, developing operating and maintenance standards, enhancing security, sharing software through centralized licensing, disseminating multimodal data, having one call-in number for the public to use in reporting incidents and for improved coordination of incident response through the development of an ITS Master Plan; and

SECTION 2. SEVERABILITY. It is hereby declared to be the intent of the City that if any Section, subsection, clause, phrase or provision of this resolution is held invalid or unconstitutional, such invalidity or unconstitutionality shall not be construed to render invalid or unconstitutional the remaining provisions of this Resolution.

SECTION 2. CONFLICTS. All resolutions or parts of resolution in conflict herewith be and the same are hereby repealed.

SECTION 3. EFFECTIVE DATE. This Resolution shall take effect upon adoption by the Commission.

PASSED AND ADOPTED BY THE CITY COMMISSION OF THE CITY OF DELTONA, FLORIDA, THIS _____ DAY OF _____, 2016.

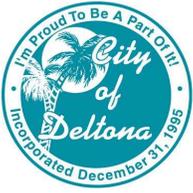
BY: _____
JOHN C. MASIARCZYK, SR., Mayor

ATTEST:

JOYCE RAFTERY, City Clerk

Approved as to form and legality for use and
reliance of the City of Deltona, Florida:

GRETCHEN R. H. VOSE, City Attorney



Agenda Memo

AGENDA ITEM:A.

TO: Mayor and Commission

AGENDA DATE: 2/15/2016

FROM: Jane K. Shang, City Manager

AGENDA ITEM: 11 - A

SUBJECT:

Consideration of request from JP Morgan Chase Bank for a reduction of fine from \$8,400.00 assessed pursuant to Special Magistrate Case DEL-15-138. - Dale Baker, Deputy City Manager (386) 878-8852.

Strategic Goal: Public Safety, strengthen code enforcement.

LOCATION:

This property is located at 2790 Thornberry Court, Deltona, Florida 32738. The Parcel No. is 30-18-31-40-27-0290.

BACKGROUND:

An order imposing fine/lien was entered on September 24, 2015, by the City of Deltona Special Magistrate, ordering JP Morgan Chase Bank to pay to the City of Deltona a fine in the amount of one hundred dollars (\$100.00) per day beginning September 23, 2015, for each and every day the violation exists and continues to exist or until a cap of \$20,000.00 is reached. The violation occurred when the respondent failed to replace or repair exterior walls of holes and rotten wood at the home located at 2790 Thornberry Court. The total accumulated amount due is \$8,400.00. On January 27, 2016 Ryan Waters, Esq. representing JP Morgan Chase Bank appeared before the Special Magistrate to request a recommendation to reduce the fine.

The Special Magistrate made a recommendation to reduce the fine to \$4,200.00.

COST:

N/A

SOURCE OF FUNDS:

N/A

ORIGINATING DEPARTMENT:

Deputy City Manager

STAFF RECOMMENDATION PRESENTED BY:

Dale Baker, Deputy City Manager - Staff does not concur with the Special Magistrate's recommendation. JP Morgan Chase Bank was the owner at the time of the violation. They were properly notified of the violation/hearings and were given sufficient time to bring the property into compliance. Staff recommends no reduction in fines.

AGENDA ITEM:A.

POTENTIAL MOTION:

“I move that the City Commission not grant any reduction of fines requested of JP Morgan Chase Bank concerning Case No. DEL-15-138 for the property located at 2790 Thornberry Court, Deltona, Florida.”

“I move that the City Commission grant the request of JP Morgan Chase Bank for a reduction of the fine concerning Case No. DEL-15-138 for the property located at 2790 Thornberry Court, Deltona, Florida to the sum of \$4,200.00 to be paid within 30 days (March 16, 2016) or the fine reverts back to the original amount.”

SPECIAL MAGISTRATE CODE HEARING

REQUEST FOR REDUCTION IN FINES

CASE NUMBER: DEL-15-138

VIOLATION: City of Deltona Ordinance, Section 18-5, adopting the latest addition of the International Property Maintenance Code, Section 304.6 which states that exterior walls shall be free from holes, breaks, loose or rotting surfaces and the surface properly coated where required to prevent deterioration on your property.

REQUIRED CORRECTIVE ACTION: Repair or replace exterior walls so they are free of holes, breaks or loose/rotting materials and the surface is properly sealed to prevent deterioration and provides weatherproofing to the surface.

OWNER AT TIME OF VIOLATION: JP Morgan Chase Bank

CURRENT OWNER: JP Morgan Chase Bank

PROPERTY ADDRESS: 2790 Thornberry Court, Deltona, FL 32738

PARCEL NUMBER: 30-18-31-40-27-0290

FINDINGS OF FACTS:

1. March 22, 2015 Received a complaint about a carport falling down.
2. March 24, 2015 Site inspection and found rotten holes and boards in exterior walls and carport.
3. April 20, 2015 Notice of Violation mailed certified to property owner.
4. June 28, 2015 Special Magistrate Hearing; Attorney Amber Kourofsky was present and represented JP Morgan Chase Bank. Property was found in non-compliance and was given 60 days to come in to compliance.
5. September 24, 2015 Special Magistrate ordered a fine of \$100.00 per day, effective September 23, 2015 and continuing until the property is brought into compliance or a cap of \$20,000.00 is reached.
6. December 10, 2015 Received a phone call from JP Morgan Chase Bank requesting information on this case and how to bring the property into compliance.
7. December 16, 2015 Officer inspected the property and found it in compliance resulting in a \$8,400.00 fine. This represents 84 days at \$100.00 per day after the time designated by the Special Magistrate's Order.
8. January 27, 2016 Ryan Waters, Esq., representing JP Morgan Chase Bank appeared before the Special Magistrate for a recommendation for a reduction in fines.

Conclusions: JP Morgan Chase Bank was the owner at the time of the violation. They were properly notified of the violation / hearings and were given sufficient time to bring the property into compliance.

Mr. Cino's Recommendation: After hearing testimony, Mr. Cino stated he is recommending a 50% reduction (from \$8,400.00 to \$4,200.00) he believes code enforcement is about compliance and not punishment. His goal is compliance and the \$4,200 should cover the City's expenses.

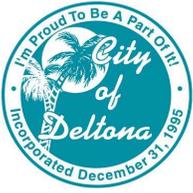
CITY'S EXPENSES: Exact city expenses are difficult to determine. We made at least 4 trips to the property; mailed 3 certified letters, appeared before the Special Magistrate twice. Additionally, there was staff time drafting orders, minutes and etc.



03/23/2015 14:33



12/16/2015 11:01



Agenda Memo

AGENDA ITEM:B.

TO: Mayor and Commission

AGENDA DATE: 2/15/2016

FROM: Jane K. Shang, City Manager

AGENDA ITEM: 11 - B

SUBJECT:

Consideration of Commissioner Honaker's appointment to the Planning and Zoning Board for the remainder of a term to expire on March 15, 2016 - Joyce Raftery, City Clerk (386) 878-8502.

Strategic Goal: Internal and external communication.

LOCATION:

N/A

BACKGROUND:

Mr. Victor Ramos, Commissioner Honaker's appointment, resigned from the Planning and Zoning Board on January 29, 2016. Per Article XII. Planning and Zoning Board, Sec. 110-1200. Creation (b), "The vacancy shall be filled within 30 days from the time it occurs." The appointment will serve for the remainder of a term to expire on March 15, 2016.

The City has run press releases, posted the opening on D-TV, the City's web page and bulletin boards. To date the City has received applications from the following individuals: Kimberlee Bailes, Cheryl Blancett, Derrick Boissette, Charles Davidson, James E. Diehl, Michael Putkowski, Justin Starkey and Frank Whittock.

In addition, the following two (2) applicants, Cheryl Blancett and Charles Davidson, have applied to be appointed to Deltona Economic Development Advisory Board which is also on this agenda for February 15th.

COST:

N/A

SOURCE OF FUNDS:

N/A

ORIGINATING DEPARTMENT:

City Clerk's Department.

STAFF RECOMMENDATION PRESENTED BY:

Joyce Raftery, City Clerk - That Commissioner Honaker select his appointment to the Planning and Zoning Board for the remainder of a term to expire on March 15, 2016.

AGENDA ITEM:B.

POTENTIAL MOTION:

"I move to confirm Commissioner Honaker's appointment for the remainder of a term to expire on March 15, 2016 to the Planning and Zoning Board."

City of Deltona, Florida
PLANNING AND ZONING BOARD

	<u>Appointed By</u>	<u>Apptd. Date</u>	<u>Term Exp.</u>
Tom Burbank CHAIRMAN 2073 Brewster St Deltona, FL 32738 (386) 789-3054 (386) 747-1944 Email: tburbank@cfl.rr.com	Commissioner Nabicht (District 6)	06-17-13 03-17-14 (Re-apptd.)	03-15-17
Adam Walosik VICE CHAIRMAN 1426 Montecito Ave Deltona, FL 32738 (407) 625-4194 Email: awalosik@att.net	Commissioner Lowry (District 5)	04-04-11 03-17-14 (Re-apptd.)	03-15-17
Donald Philpitt 455 Saxon Blvd. Deltona, FL 32725 (386) 860-7279 Email: dapbap@att.net	Mayor Masiarczyk	02-01-16	03-15-16
Noble Olasimbo 2768 Foxdale Dr. Deltona, FL 32738 (386) 737-6023 (352) 483-9092 Email: nolasimbo@bellsouth.net	Commissioner Schleicher (District 4)	04-04-11 03-17-14 (Re-apptd.)	03-15-17
Resigned January 29, 2016			
Victor M. Ramos 1540 Howland Blvd. P.O. Box 390413 Deltona, FL 32738 (386) 532-7881 (H) (786) 261-4380 (C) Email: pitirre@cfl.rr.com	Commissioner Denizac (District 1)	12-17-07 03-01-10 03-04-13 (Re-apptd.)	03-15-16
John Harper 1022 Feather Dr. Deltona, FL 32725 (386) 547-0121 Email: nativeson904@att.net	Commissioner Smith (District 2)	01-19-15	03-15-16
Stony Sixma 1977 Catalina Boulevard Deltona, FL 32725 (386) 848-1147 Email: Stonysixma@yahoo.com	Vice Mayor Herzberg (District 3)	07-21-14	03-15-17
<u>Staff Liaison:</u> Chris Bowley, AICP Planning & Development Services Director 2345 Providence Blvd. Deltona, FL 32725 (386) 878-8602 (386) 878-8501 Fax Email: cbowley@deltonafl.gov			

Deltona, Florida, Code of Ordinances >> **PART II - CODE OF ORDINANCES** >> **Chapter 110 - ZONING**
>> **ARTICLE XII. PLANNING AND ZONING BOARD** >>

ARTICLE XII. PLANNING AND ZONING BOARD

[Sec. 110-1200. Creation.](#)

[Sec. 110-1201. Rules of procedure.](#)

[Sec. 110-1202. Powers and duties.](#)

[Sec. 110-1203. Board review procedures.](#)

Sec. 110-1200. Creation.

A planning and zoning board is hereby created, effective April 1, 1999. It shall be referred to in this article as "the board." The jurisdiction of the board shall be throughout the area of the City of Deltona. It shall have the following membership, powers, duties, responsibilities, and limitations.

- (a) *Membership, place of residence, terms of office.* The board shall have seven members appointed by the city commission. Each member shall serve for a term of three years. Each city commissioner and the mayor shall appoint one member to the board, said appointments to be ratified by a majority vote of the city commission. The initial terms of office shall be staggered. Two members shall serve for one year, two members shall serve for two years, and the remaining members shall serve for terms of three years. The members to serve initial terms of one and two years shall be determined by drawing lots by the city commission after making the initial appointments. Thereafter, all members shall be appointed for terms of three years. No board member shall serve on the board for more than two consecutive three-year terms. No elected official and no employee of the city government shall be appointed to serve on the board.
- (b) *Removal from office, vacancies.* If a member is absent for three consecutive meetings without being excused by the chairperson, said member shall forfeit his or her office and it shall be deemed vacant. Any vacancy occurring during the un-expired term of office of any member shall be filled by the city commission for the remainder of the term. The vacancy shall be filled within 30 days from the time it occurs. Any member of the board may be removed from office for cause by the city commission, upon written charges and after public hearing.
- (c) *Officers.* The board shall elect a chairperson, vice-chairperson and secretary from among its members. The terms of all board officers shall be one year, each having eligibility for re-election. At the first meeting of the board of each calendar year, the secretary shall call the board meeting to order and shall then call for nominations for the chairperson. Upon election of a chairperson, the secretary shall pass the gavel to the chair. The chairperson shall then call for nominations for vice-chairperson. Upon election of a vice-chairperson, the chair shall call for nominations for secretary. The director of development services shall perform the secretary's duties in opening the meeting and calling for nominations for chairperson at the first meeting of the board following its establishment by the city commission.

- (d) *Employees, administrative services.* The board shall have no employees or contract vendors. The planning and development services department shall provide clerical and staff support by formatting and packaging board agendas, creating summary minutes of meetings, and maintaining board records. The planning and development services department shall also provide professional and technical assistance to the board consistent with its staffing and funding as approved by the city commission. The director of development services or his or her designee shall bring board reports and recommendations to the city commission in appropriate communications, the format and medium of which shall be determined by the city manager. Such communications shall include staff reports and recommendations, application materials, correspondence, and other relevant information as determined by the board, the director of development services, the city manager, or the city commission to be necessary to assist the city commission in its deliberations. The board shall not direct the staff to undertake any project, but may request reasonable staff assistance, and may report through the staff and city manager to the city commission any projects which the board deems worthwhile for commission consideration by a majority vote of the board's entire membership.
- (e) *Compensation, annual budget.* Each board member may be reimbursed for reasonable expenses incurred in connection with his or her duties on the board in accordance with reimbursement policies and amounts established by a resolution of the city commission. The city commission shall provide members of the board with professional liability insurance to cover potential claims of personal liability for damages as a result of their formal actions and decisions as members of the board. The city manager shall recommend the amounts of insurance coverage and potential insurance carriers to the city commission. The city commission shall provide an annual budget for training and education of board members; for printing of training materials and decision support materials; and for the purchase of books and publications that increase the board members' understanding of the board's functions and of the issues faced by the board. The amount budgeted for each purpose shall be determined by the city commission upon the receipt of the recommendations of the city manager. The city commission may also budget for public information and participation, and for other items that it deems appropriate to include in the board's budget.

(Ord. No. 03-99, § 1, 2-1-1999; Ord. No. 19-2011, § 1(Exh. A), 11-7-2011)

Sec. 110-1201. Rules of procedure.

The board shall meet at regular intervals once each month, and at such other times as it may deem necessary, for the transaction of its business. It shall follow the by-laws adopted by resolution of the city commission. Unless otherwise stated in the by-laws, and until such by-laws are adopted by the city commission, the board shall conduct its affairs in accordance with Robert's Rules of Order. Points of order shall not be raised in board meetings by members of the audience. The sheriff's office or, upon its creation, the city's police department shall provide a sergeant-at-arms to maintain order at board meetings upon the request of either the chairperson, or the director of development services. The board shall keep a properly indexed public record of its resolutions, transactions, findings and recommendations. The board may by resolution limit the number of applications of all types or of any type which it shall hear each month. A quorum shall be four members. No recommendations for approval of any application shall be made unless four members concur.

(Ord. No. 19-2011, § 1(Exh. A), 11-7-2011)

Sec. 110-1202. Powers and duties.

- (a) *Designation as local planning agency.* The board is hereby designated as the local planning agency as required by the Local Government Comprehensive Planning and Land Development Regulation Act, section 163.3161 et seq., and F.S. § 163.3174. The board shall prepare, or cause to be prepared, the elements of the comprehensive plan required in F.S. § 163.3177, and any other appropriate elements, and shall make recommendations regarding the comprehensive plan to the city commission. The board shall have the general responsibility for the conduct of the comprehensive planning program. The board and the comprehensive planning program shall comply with all requirements of the Local Government Comprehensive Planning and Land Development Regulation Act and shall monitor and oversee the effectiveness and status of the comprehensive plan, and recommend to the city commission such changes in the comprehensive plan as may from time to time be required. The board shall perform any other duties assigned by the city commission, and may prepare and recommend to the city commission any other proposals to implement the comprehensive plan.
- (b) *Designation as land development regulations commission.* The board is hereby also designated as the land development regulations commission in accordance with the provisions of the Local Government Comprehensive Planning and Land Development Regulations Act, section 163.3161, et seq., and F.S. § 163.3194. The board shall develop and recommend to the city commission land development regulations that implement the comprehensive plan and review land development regulations or amendments thereto for consistency with the adopted comprehensive plan.
- (c) *Annual work program.* The board shall receive recommendations from the planning and development services department regarding an annual work program. Following receipt of those recommendations, the board shall prepare an annual work program for recommendation to the city commission. The work program shall include an estimated budget for its implementation. The work program shall be in a format developed by the staff and approved by the city manager. The city manager and the city commission shall determine the priorities given the individual items in the work program in the proposed annual budget and in the adopted budget, respectively.
- (d) *Five-year capital improvements program and annual capital improvements budget.* The board shall review the city's proposed capital improvements plan and budget, and make recommendations on capital budget priorities to the city commission annually. This review shall require one public hearing with due public notice. This public hearing shall be conducted in accordance with the requirements of F.S. § 163.3181(3), as it may be amended from time to time. The proposed five-year capital improvements plan is mandated by the Local Government Comprehensive Planning and Land Development Regulation Act, F.S. ch. 163, pt. II, and shall be developed annually for presentation to the board by an interagency capital improvements committee chaired by the director of development services. The capital improvements committee shall consist of the director of development services; the director of finance and internal services; the director of public works; the assistant city manager or other staff person charged with senior management responsibility for parks and recreational facilities; the fire chief; and such other members as may be appointed by the city manager. The city manager shall determine the priorities and recommended funding levels given to the planning and zoning board's recommended capital improvements budget for the capital improvements program and budget annually proposed to the city commission. The city

commission shall determine the priorities and funding given to the recommendations of the board and the city manager for the adopted capital improvements program and budget.

- (e) *Applications and proposals requiring public hearings.* Prior to the transmittal of an application or proposal to the city commission, the board shall hold one public hearing with due public notice on the following applications and proposals, whether initiated by the city or by other applicants:

- (1) Plan amendments, including future land use map amendments;
- (2) Zoning map changes;
- (3) Changes to the city's zoning ordinance or a proposed new zoning ordinance;
- (4) Changes to the city's sign ordinance or a proposed new sign ordinance;
- (5) Changes to the Land Development Code or a proposed new Land Development Code, including subdivision regulations;
- (6) Planned unit developments;
- (7) Conditional uses;
- (8) Zoning variances;
- (9) Amendments to the approved capital improvements program or budget;
- (10) The establishment of, or changes to established community development districts;
- (11) Changes to or proposed architectural design standards;
- (12) Changes to or proposed landscaping ordinances, tree preservation ordinances, or environmental protection ordinances;
- (13) Proposed development agreements created pursuant to the "Florida Local Government Development Agreement Act";
- (14) Proposed developments of regional impact;
- (15) Development review final site plans for buildings over 30,000 square feet in area under heating and cooling or developments over 15 dwelling units per acre; and
- (16) Proposed subdivisions containing more than 200 lots.

The board shall review all such applications for consistency with the adopted comprehensive plan, for consistency with the purposes and intent of this chapter or of the ordinance proposed to be amended, and for the ability of the application to meet the standards for approval of the application that are contained in the relevant laws and ordinances governing the application's approval. The board shall also consider:

- (1) Noise, vibrations, odor, glare, shadows, or visual impacts on the neighborhood and adjoining properties.
- (2) Any impacts on environmentally sensitive lands or natural resources, including but not limited to water bodies, wetlands, xeric communities, wildlife habitats, endangered or threatened plants or animal species or species of special concern, wellfields, and individual wells;
- (3) Adequacy of public facilities to serve the development, including but not limited to roads, sidewalks, bikepaths, potable water, wastewater treatment, drainage, fire and police safety, parks and recreational facilities, and public schools;
- (4) On-site and off-site traffic impacts, pedestrian safety and adequate access and egress for city service and emergency vehicles;
- (5) Use of space from a functional and aesthetic perspective;
- (6) Safety of occupants, visitors, and the surrounding neighborhood;
- (7)

Proposed use of materials and architectural features in relationship to neighborhood or surrounding area character, and aesthetic considerations.

- (f) *Advisory recommendations to the city commission.* The board shall make a recommendation to the city commission by formal written approved motion of the board as to the conclusion of the board that an application or proposal should be considered by the city commission for approval, approval with specific conditions recommended by the board, or denial. The board's recommendation shall be transmitted to the city commission with all related staff reports, an index and executive summary of the staff reports prepared by the planning and development services department, a summary of written materials submitted by the public for consideration at the board's public hearing, a summary of public comments at the hearing, and the complete application or proposal.
- (g) *Applications and proposals exempt from board review.* Planning and zoning board review shall not be required for amendments to city ordinances that are initiated by the staff or the city commission to correct grammar and spelling errors, change fees, change the organization of the ordinances, or change processing procedures when mandated by state statutes, provided such changes do not affect consistency with the comprehensive plan, the use of land, or change the meaning of the adopted regulations.

(Ord. No. 19-2011, § 1(Exh. A), 11-7-2011)

Sec. 110-1203. Board review procedures.

- (a) *Deadline for submission of applications.* Complete applications requiring planning and zoning board review must be submitted to the planning and development services department at least 20 working days prior to the board meeting at which the applications are to be heard. Complete applications submitted after this deadline shall be processed for consideration at the following board meeting. An application shall be considered complete if it meets all of the submission requirements established by the applicable ordinance, fees are paid, a fully executed city application form is included, and sufficient information is included in the application to enable the staff and the board to evaluate the application.
- (b) *Application forms and processing procedures.* Applications shall be submitted on forms and processed in accordance with written administrative procedures created and published by the planning and development services department. All required attachments shall be included with each application, including, but not limited to, proof of ownership or permission of the owner to make the application, location maps, surveys, and site plans, as required. No application will be deemed complete until the required fees have been paid, including the estimated costs of the services of consultants to the city, if any such consultants are needed.
- (c) *Expiration of planning and zoning board recommendations.* Applicants may postpone city commission review of any application up to a maximum of one year following action by the planning and zoning board. Any applications not heard by the city commission within that period shall require re-submittal of the proposal, including the payment of all applicable fees and processing requirements as required for a new proposal. The review of a re-submitted proposal shall not be shortened in time, or otherwise abridged, in order that the staff and the board shall have adequate opportunity to determine whether or not there are any changes in the proposal or any changed conditions that may alter the review results.

(Ord. No. 19-2011, § 1(Exh. A), 11-7-2011)

Elizabeth Keys

From: Victor Ramos <ramosv@cookman.edu>
Sent: Monday, February 01, 2016 11:50 AM
To: Mitch Honaker
Subject: Re: Planning & Zoning Board

Good day Commissioner,

Thank you for the opportunity.

Victor

On Sun, Jan 31, 2016 at 10:02 AM, Mitch Honaker <MHonaker@deltonafl.gov> wrote:

No, thank you Sir Victor, for serving the City of Deltona.

Mitch

From: Victor Ramos <ramosv@cookman.edu>
Sent: Friday, January 29, 2016 12:47 PM
To: Commissioners
Subject: Planning & Zoning Board

Good day Commissioners:

As I'm termed out from the Planning & Zoning Board coming this March I confirm that I am resigning from the Planning & Zoning Board effective no later than 01/29/16.

Thank you for the opportunity to have served the people of Deltona in this capacity.

I have submitted my application to the Economic Development Advisory Board. I look forward to serving in any future opportunities available.

Thank you,

Victor

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Victor M. Ramos, M.S.

Coordinator of Community Outreach

Division of Business and Community Development

Bethune-Cookman University–Deltona Campus

1555 Saxon Boulevard | Deltona, FL 32725

Office: [386.481.2138](tel:386.481.2138) | Fax: [386.481.2164](tel:386.481.2164)

Email: ramosv@cookman.edu

Florida has a very broad Public Records Law. Virtually all written communications to or from State and Local Officials and employees are public records available to the public and media upon request. The City of Deltona's policy does not differentiate between personal and business emails. This means email messages, including your e-mail address and any attachments and information we receive online might be disclosed to any person or media making a public records request. E-mail sent on the City system will be considered public and will only be withheld from disclosure if deemed confidential or exempt pursuant to State Law. If you are an individual whose identifying information is exempt under 119.071, Florida Statutes, please so indicate in your email or other communication. If you have any questions about the Florida public records law refer to Chapter 119 Florida Statutes.

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Victor M. Ramos, M.S.

Coordinator of Community Outreach

Division of Business and Community Development

Bethune-Cookman University–Deltona Campus

1555 Saxon Boulevard | Deltona, FL 32725

Office: [386.481.2138](tel:386.481.2138) | Fax: [386.481.2164](tel:386.481.2164)

Email: ramosv@cookman.edu

Request From: Kimberlee Bailes
Email: kimberleebailes@yahoo.com
Source IP: 99.40.165.15

Address: 1022 Norwood Drive
City: Deltona
State: FL
Zip: 32725
Phone: 3862599132
Alt Phone: 3865764297
Fax:
Organization:

Checkbox Choices

Affordable Housing Advisory Committee, Planning & Zoning Board, Parks & Recreation
Citizen Accessibility Advisory Sub-Committee,

Number of Years as a Deltona Resident

21 - 25 Years

What Commission district do you reside in?

District 1

Are you a registered voter in Volusia County?

Yes

Who is your employer? (Please include number of years, address, phone number and title/position)

I am disabled due to having MS> However I am still very sharp and I really want to be of assistance to Deltona. I believe in the city.

Please summarize your work experience.

I have not worked since 2012, however from 2011 - 2013 I produced and owned a company her in Deltona that was a Elvis tribute show. It was great success and I am glad I had a part of the Elvis world. It was amazing. I have lots of clerical skills and I am a good listerner to problems, before I hope to find the correct answer.

List any volunteer service organizations, clubs, or professional societies you are a member of and give the positions or titles you have held.

Elvis Presley Continentals Fan Club, on many committees do Charity work in Elvis name.

Moose Lodge in Deltona, just getting involved.

Have you ever served on a committee or advisory board? If so, give the details, including any positions held. Have you ever held public office? If so, give the details, including offices involved, whether elected or appointed, and the length of service.

NO

Describe any additional knowledge, skill, education, or experience you have, which would assist you in the duties of this Board/Committee.

As stated above, I have clerical skills, and listening skills. I believe you have to listen to all the problems before solving it.

Explain why you want to serve on this Board/Committee, and include any potential contribution you selection would bring.

I also am a Paralegal, I know the law and I trust the law. I would want to solve the problem and listen to all the problems before giving my answer.

Potential conflict of interest: Do you do business, or are you engaged in the management of any business enterprise that has a financial interest with the City of Deltona? Please give details, including the name of the enterprise, the nature of the business, and the position you hold.

NO

Have you ever been convicted for violation of any federal, state, county, or municipal law, regulation, or ordinance? If so, give details. Do not include traffic violations or fines of \$100 or less that were imposed, unless it also included a jail sentence.

2001 Forery, and Grand Theft. I paid back all my restitution and had my civil rights restored. I have served on a jury and I am a changed person. I cannot change the past I can only try and make the future better for Deltona. My Son and Grandson and my parents all live in Deltona, hence I want to do something to assist in making it better.

List names, addresses, and telephone numbers of at least three persons who are in a position to comment on your qualifications and of whom inquiry may be made by the City of Deltona.

Pearl Zullo 727-768-4897, Maxine Pepper 386 500 3818, David Bezner 727 379 7576

Additional Information or Comments

I hope that my past will not be what you base your decision on. I really want to get involved and help. I appreciate your consideration on my application. Thank you for your time.

Request From: Cheryl Blancett
Email: cjblancett@gmail.com
Source IP: 107.145.129.74

Address: 2783 Fayson Circle
City: Deltona
State: Florida
Zip: 32738
Phone: 386-878-5658
Alt Phone:
Fax:
Organization:

Checkbox Choices

Affordable Housing Advisory Committee, Economic Development Advisory Board,
Planning & Zoning Board, Ordinance Review Committee,

Number of Years as a Deltona Resident

16 - 20 Years

What Commission district do you reside in?

District 5

Are you a registered voter in Volusia County?

No

Who is your employer? (Please include number of years, address, phone number and title/position)

After almost 17 years as an In-House Investigator (20 years total as an Investigator/Compliance Supervisor) I began a career as a Community Association Manager. I currently am employed by Pinnacle Property Management, and have been with this company for approximately 3 months. 407-977-0031 and my extension is 303.

Please summarize your work experience.

Approximately 20 years as an In-house or Private Investigator and Compliance Supervisor, 3 years as a Community Association Manager, 8 years as a Certified Personal Development and Stress Management Coach.

List any volunteer service organizations, clubs, or professional societies you are a member of and give the positions or titles you have held.

Conflict Resolution Networking (Advisory Board, "See Something Say Something" Anti Bullying Committee (Creator), "One Life One Love" Alternative Lifestyle Counseling (Creator)

Have you ever served on a committee or advisory board? If so, give the details, including any positions held. Have you ever held public office? If so, give the details, including offices involved, whether elected or appointed, and the length of service.

I have never held a public office, but have served on several advisory boards for Conflict Resolution, Identifying and Confronting Bullying and Family Preservation. These were distant learning, online boards.

Describe any additional knowledge, skill, education, or experience you have, which would assist you in the duties of this Board/Committee.

I am a former Investigator and Compliance Supervisor, with 20 plus years of experience. I am a Certified Personal Development and Stress Management Coach, and a Licensed Community Association Manager. I have obtained Certifications in Conflict Resolution and have a successful Life Skills Management organization.

Explain why you want to serve on this Board/Committee, and include any potential contribution you selection would bring.

I chose the City of Deltona to raise my children, and have lived here for almost 20 years. Throughout the years I have seen the deterioration of many areas, and the mounting disinterest and concern of the residents. As a Professional Manager of many communities, I believe my care, empathy and professional experience can help to revitalize our communities and engage the residents in such a way that Deltona can thrive again.

Potential conflict of interest: Do you do business, or are you engaged in the management of any business enterprise that has a financial interest with the City of Deltona? Please give details, including the name of the enterprise, the nature of the business, and the position you hold.

No

Have you ever been convicted for violation of any federal, state, county, or municipal law, regulation, or ordinance? If so, give details. Do not include traffic violations or fines of \$100 or less that were imposed, unless it also included a jail sentence.

Never

List names, addresses, and telephone numbers of at least three persons who are in a position to comment on your qualifications and of whom inquiry may be made by the City of Deltona.

Faye Blancett (mother-in-law) 407-902-8734 / Fred Harris (Investigator) 407-739-2800 / Sheryl Johnson (Investigator) 407-595-0021

Additional Information or Comments

I aspire to become a Representative for the State of Florida and possibly a City Commissioner for the City of Deltona.

Request From: Derrick Boissette
Email: drboissette@gmail.com
Source IP: 209.16.117.50

Address: 1836 Concert Rd
City: Deltona
State: Florida
Zip: 32738
Phone: 386-848-3806
Alt Phone:
Fax:
Organization: N/A

Checkbox Choices

Planning & Zoning Board,

Number of Years as a Deltona Resident

21 - 25 Years

What Commission district do you reside in?

District 2

Are you a registered voter in Volusia County?

Yes

Who is your employer? (Please include number of years, address, phone number and title/position)

Rollins College 8months

Campus Safety Officer

1000 Holt Ave

Winter Park, FL 32789

Please summarize your work experience.

Having worked jobs in factories, retail, and hospitality, I believe that I am ready to embark on my journey in public service. I received my BA in Political Science and seek employment and experience within a government (non-elected) office.

List any volunteer service organizations, clubs, or professional societies you are a member of and give the positions or titles you have held.

Key Club of Pine Ridge High School: treasurer

Lambda Chi Alpha Fraternity: President; vice president; philanthropy director

Have you ever served on a committee or advisory board? If so, give the details, including any positions held. Have you ever held public office? If so, give the details, including offices involved, whether elected or appointed, and the length of service.

I have never held a position nor served on a committee that was in service to a government office.

Describe any additional knowledge, skill, education, or experience you have, which would assist you in the duties of this Board/Committee.

I have participated in a joint project with Rollins College and the City of Winter Park in which we worked with the Commerce division to market fair trade goods. The lessons learned from this project range from marketing applications, generating community surveys, interacting with community partners, and how to generate interest in particular brand or item.

Explain why you want to serve on this Board/Committee, and include any potential contribution you selection would bring.

I want to serve on this Board / Committee as a way to cultivate my abilities in serving my community as a builder and participant of the political process.

Potential conflict of interest: Do you do business, or are you engaged in the management of any business enterprise that has a financial interest with the City of Deltona? Please give details, including the name of the enterprise, the nature of the business, and the position you hold.

None

Have you ever been convicted for violation of any federal, state, county, or municipal law, regulation, or ordinance? If so, give details. Do not include traffic violations or fines of \$100 or less that were imposed, unless it also included a jail sentence.

No

List names, addresses, and telephone numbers of at least three persons who are in a position to comment on your qualifications and of whom inquiry may be made by the City of Deltona.

John Baker: 407-948-3201

Lenny Bendo: 407-758-7532

Dilbar Usmanova: 407-936-5780

Additional Information or Comments

Request From: Charles Davidson
Email: chasdavidson46@gmail.com
Source IP: 155.70.39.45

Address: 2181 Gretna Dr.
City: Deltona
State: Florida
Zip: 32738
Phone: 407-280-7979
Alt Phone: 407-889-6454
Fax:
Organization: Resident

Checkbox Choices

Economic Development Advisory Board, Planning & Zoning Board, Ordinance Review Committee,

Number of Years as a Deltona Resident

2 - 5 Years

What Commission district do you reside in?

District 6

Are you a registered voter in Volusia County?

Yes

Who is your employer? (Please include number of years, address, phone number and title/position)

CenturyLink, 555 Lake Border Dr., Apopka Fl 32703 407-889-6454

Facility Manager, 15 years

Please summarize your work experience.

I manage 240 buildings ranging in size from the Regional Headquarters 260,000 square feet to a Central Office of 300 square feet. I manage the day to day maintenance activities for all 240 buildings including janitorial services, HVAC, emergency power, roofs, building structure, electrical, plumbing, fire life safety, and security. I manage a staff of 6 with an annual operating budget of \$2.5 million. Part of my responsibility is working with local government entities to ensure compliance with city, county, state and federal ordinances and laws.

List any volunteer service organizations, clubs, or professional societies you are a member of and give the positions or titles you have held.

Orange City Chamber of Commerce (now defunct), Chairman and Vice Chairman

International Facility Managers Association (IFMA), Board of Directors Advisory Member.

Building Owners and Managers Institute (BOMI), member and Facility Manager Certification

Have you ever served on a committee or advisory board? If so, give the details, including any positions held. Have you ever held public office? If so, give the details, including offices involved, whether elected or appointed, and the length of service.

IFMA, Board of Directors Advisory Member.

Describe any additional knowledge, skill, education, or experience you have, which would assist you in the duties of this Board/Committee.

College Degree, BA in Business Management

Facility Manager Certification (FMA), BOMI

Numerous leadership and educational courses.

Explain why you want to serve on this Board/Committee, and include any potential contribution you selection would bring.

I would bring over 30 years of successful business and management experience to the committee.

I have experience working with local government entities as it relates to covenants and ordinances.

Potential conflict of interest: Do you do business, or are you engaged in the management of any business enterprise that has a financial interest with the City of Deltona? Please give details, including the name of the enterprise, the nature of the business, and the position you hold.

No

Have you ever been convicted for violation of any federal, state, county, or municipal law, regulation, or ordinance? If so, give details. Do not include traffic violations or fines of \$100 or less that were imposed, unless it also included a jail sentence.

No

List names, addresses, and telephone numbers of at least three persons who are in a position to comment on your qualifications and of whom inquiry may be made by the City of Deltona.

Kent Brower, 555 Lake Border Dr, Apopka, Fl 32703 407-889-6974

Scott Arnold, 425 N. 3rd St., Leesburg Fl 352-3526-1444

Peter Tran, 555 Lake Border Dr., Apopka, Fl 32703 407-889-6638

Additional Information or Comments

Request From: James E. Diehl
Email: lawyerdiehl@aol.com
Source IP: 99.40.164.179

Address: 3125 Clewiston Street
City: Deltona
State: Florida
Zip: 32738
Phone: 207-385-3055
Alt Phone:
Fax:
Organization:

Checkbox Choices

Planning & Zoning Board, William S. Harvey Scholarship Selection Committee , Ordinance Review Committee,

Number of Years as a Deltona Resident

0 - 1 Year

What Commission district do you reside in?

District 5

Are you a registered voter in Volusia County?

Yes

Who is your employer? (Please include number of years, address, phone number and title/position)

Retired in 2010 from State of Maine, Prosecutorial District Five, Office of the District Attorney, 97 Hammond Street, Bangor, Maine, after 25 years as appointed Assistant District Attorney. (Office Manager Kristine Higgins: 207-947-8552)

Please summarize your work experience.

31 years total State of Maine service as Park Ranger (1973-76), Certified municipal police officer (1976-82), and Assistant District Attorney 1986-2010).

List any volunteer service organizations, clubs, or professional societies you are a member of and give the positions or titles you have held.

Boy Scouts (Advancement Chair, Eagle Review Board)

American Bar Ass'n, Maine Bar Ass'n, Picataquis and Penobscot Bar Ass'n.

Have you ever served on a committee or advisory board? If so, give the details, including any positions held. Have you ever held public office? If so, give the details, including offices involved, whether elected or appointed, and the length of service.

Describe any additional knowledge, skill, education, or experience you have, which would assist you in the duties of this Board/Committee.

Juris Doctorate, University of New Hampshire 1985

Licensed Maine Attorney, in good standing

Explain why you want to serve on this Board/Committee, and include any potential contribution you selection would bring.

I am retired after a lifetime of public service. What better way to give back to my adopted community than volunteering. I spent six years as a municipal police officer enforcing ordinances and then 25 years drafting and prosecuting violations of law. Such experience may give a unique perspective for this committee.

Potential conflict of interest: Do you do business, or are you engaged in the management of any business enterprise that has a financial interest with the City of Deltona? Please give details, including the name of the enterprise, the nature of the business, and the position you hold.

No conflicts. Retired in 2010 from State of Maine. After traveling the country in an RV, lived in Pompano Beach, then Crestview, before buying our home and settling in Deltona.

Have you ever been convicted for violation of any federal, state, county, or municipal law, regulation, or ordinance? If so, give details. Do not include traffic violations or fines of \$100 or less that were imposed, unless it also included a jail sentence.

No.

List names, addresses, and telephone numbers of at least three persons who are in a position to comment on your qualifications and of whom inquiry may be made by the City of Deltona.

Will be provided on request upon serious consideration.

Additional Information or Comments

Criminal Justice and public safety have been the focus of my professional life. I am retired and would volunteer for any service where the community will benefit from my expertise.

Request From: Michael W. Putkowski
Email: mikeputkowski@gmail.com
Source IP: 209.26.84.244

Address: 2736 Courtland Blvd
City: Deltona
State: Florida
Zip: 32738
Phone: (407)641-6920
Alt Phone:
Fax:
Organization:

Checkbox Choices

Planning & Zoning Board,

Number of Years as a Deltona Resident

6 - 10 Years

What Commission district do you reside in?

District 1

Are you a registered voter in Volusia County?

Yes

Who is your employer? (Please include number of years, address, phone number and title/position)

Employer: The City of Winter Park. Employed for 17 years.

Address 1401 Howell Branch Rd #12 Winter Park Florida 32789 (407)599-3537

Job Title: Foreman for Public Works in the Streets Division.

Please summarize your work experience.

In my current job I'm responsible for planing and meeting deadlines. Leadership skills are also used everyday so those obligations can be made. Before my current job I worked in the construction field building roads.

List any volunteer service organizations, clubs, or professional societies you are a member of and give the positions or titles you have held.

Currently I'm the Kitchen Manager for the Community Life Center located at 1045 E. Normandy Blvd Deltona Florida 32725 Phone: (407)324-1614.

Have you ever served on a committee or advisory board? If so, give the details, including any positions held. Have you ever held public office? If so, give the details, including offices involved, whether elected or appointed, and the length of service.

Yes,

(1)I serve on the City of Winter Park's Public Works Employee Sub-Committee where I'm also the current Chairman.(2)The City of Winter Parks's Employee Committee where I'm a current member and the former Chairman.

Describe any additional knowledge, skill, education, or experience you have, which would assist you in the duties of this Board/Committee.

Over the last 4 years I've become a very involved resident of Deltona. I've spoken at many commission meetings and workshops to advocate for myself and others. I also bring my civil service experience with me.

Explain why you want to serve on this Board/Committee, and include any potential contribution you selection would bring.

Deltona is a great place to live. There is plenty of ways to make our city even better and I would like to be a part of that process. The last 17 years I'm served the public in other ways now I would like the opportunity to serve in a new and different way.

Potential conflict of interest: Do you do business, or are you engaged in the management of any business enterprise that has a financial interest with the City of Deltona? Please give details, including the name of the enterprise, the nature of the business, and the position you hold.

No

Have you ever been convicted for violation of any federal, state, county, or municipal law, regulation, or ordinance? If so, give details. Do not include traffic violations or fines of \$100 or less that were imposed, unless it also included a jail sentence.

No

List names, addresses, and telephone numbers of at least three persons who are in a position to comment on your qualifications and of whom inquiry may be made by the City of Deltona.

Larry Sylvester (321)303-5224

Heather Scofield (386)320-2672

Greg Oas (321)303-5222

Additional Information or Comments

Request From: Justin Starkey
Email: justinstarkey@gmail.com
Source IP: 50.88.3.198

Address: 3525 robert goddard ave
City: deltona
State: Florida
Zip: 32738
Phone: 4076872441
Alt Phone: 4076872441
Fax:
Organization:

Checkbox Choices

Planning & Zoning Board,

Number of Years as a Deltona Resident

6 - 10 Years

What Commission district do you reside in?

District 6

Are you a registered voter in Volusia County?

Yes

Who is your employer? (Please include number of years, address, phone number and title/position)

Self employed, VMP Tuning Inc, 10 years, same.

Please summarize your work experience.

I grew up in Debary, Florida and attended several area schools, graduating from Deltona High School in 2001. I spent some time at Daytona State College including the Deltona Campus. In the early 2000s online sales and the internet were beginning to boom, I would work at local restaurants after school and sell on ebay at night. This taught me the fundamentals of customer service and I learned the basics of business and e-commerce. Things such as supply and demand, advertising, and gaining a market advantage. I went from selling computer parts to high performance Mustang racing parts. Around that time I met my wife, Rebecca Starkey, at the local race track. I am a self-employed entrepreneur that likes to go fast. My wife and I now have 4 children with one on the way, she will go back to racing the NMRA circuit in mid-

March. Running my business, the Rebecca Starkey Racing team, and taking care of 4 children has taught me how to do a lot at once simply put, but also care fully weigh the full effect of different decisions. Being considerate of everyone involved would be paramount in any recommendations this board makes.

List any volunteer service organizations, clubs, or professional societies you are a member of and give the positions or titles you have held.

NMRA, National Mustang Racing Association, active member, ambassador to the sport, racer, participant. Signature award recipient 12/2015.

Have you ever served on a committee or advisory board? If so, give the details, including any positions held. Have you ever held public office? If so, give the details, including offices involved, whether elected or appointed, and the length of service.

No.

Describe any additional knowledge, skill, education, or experience you have, which would assist you in the duties of this Board/Committee.

Young and tempered by children, marriage, and responsibility.

Explain why you want to serve on this Board/Committee, and include any potential contribution you selection would bring.

Like anything, you get out of it what you put it into. I believe Deltona could benefit from more involvement by the residents. I believe I could bring a fresh perspective to this board based on my age and life experience thus far. Development is Deltona's future, jobs and property values will be affected by the decisions that city government makes.

Potential conflict of interest: Do you do business, or are you engaged in the management of any business enterprise that has a financial interest with the City of Deltona? Please give details, including the name of the enterprise, the nature of the business, and the position you hold.

No.

Have you ever been convicted for violation of any federal, state, county, or municipal law, regulation, or ordinance? If so, give details. Do not include traffic violations or fines of \$100 or less that were imposed, unless it also included a jail sentence.

No.

List names, addresses, and telephone numbers of at least three persons who are in a position to comment on your qualifications and of whom inquiry may be made by the City of Deltona.

Bud Burk, 1316 NADINE DR DELTONA 32738, 386-804-7652

Louise Smith, 1137 DELTONA BLVD DELTONA 32725, 407-808-1889

Luis GUERRERO, 3535 ROBERT GODDARD AV DELTONA 32738, 954-790-1626

Additional Information or Comments

How is the applicant review and decision process handled?

Request From: frank whittock
Email: fwhittock@cfl.rr.com
Source IP: 107.145.176.52

Address: 2911 mcclellan st.
City: deltona
State: Florida
Zip: 32738
Phone: 3213633389
Alt Phone: 7176833496
Fax: 3213633389
Organization:

Checkbox Choices

Planning & Zoning Board,

Number of Years as a Deltona Resident

6 - 10 Years

What Commission district do you reside in?

District 6

Are you a registered voter in Volusia County?

Yes

Who is your employer? (Please include number of years, address, phone number and title/position)

Retired

Please summarize your work experience.

51 years ,founder of Frank Whittock & Associates,Architectural Scale Models

Company still active,sold to employees.

List any volunteer service organizations, clubs, or professional societies you are a member of and give the positions or titles you have held.

Past president of Mid Atlantic shrine motor corps

Past directer phila Royal Order of Jesters (masonic)

Have you ever served on a committee or advisory board? If so, give the details, including any positions held. Have you ever held public office? If so, give the details, including offices involved, whether elected or appointed, and the length of service.

No

Describe any additional knowledge, skill, education, or experience you have, which would assist you in the duties of this Board/Committee.

Having worked with various planners,land planners.architects,as well as zoning bds. for 50+years.

Iam knowledgeable in design,land planning,site grading.

Explain why you want to serve on this Board/Committee, and include any potential contribution you selection would bring.

I feel designed land development and zoning can aid in Deltona's future

I feel design planning and zoning can only aid in Deltona's future growth.

Potential conflict of interest: Do you do business, or are you engaged in the management of any business enterprise that has a financial interest with the City of Deltona? Please give details, including the name of the enterprise, the nature of the business, and the position you hold.

No

Have you ever been convicted for violation of any federal, state, county, or municipal law, regulation, or ordinance? If so, give details. Do not include traffic violations or fines of \$100 or less that were imposed, unless it also included a jail sentence.

No

List names, addresses, and telephone numbers of at least three persons who are in a position to comment on your qualifications and of whom inquiry may be made by the City of Deltona.

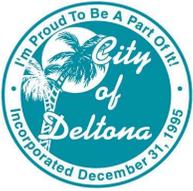
Zbigniew Raguza (president of FWA) 570 dunks ferry rd. Bensalem pa, 215 638 1557

Edith Tinari 1860 s.Merrick dr. Deltona Fl. 386 574 6364

Donald Frazee 494 Glen Haven dr. Deltona FL. 386 575 0795

Additional Information or Comments

Having met the head of ,along with their personal of various city departments,I feel I can work well with them for Deltona's betterment.



Agenda Memo

AGENDA ITEM:C.

TO: Mayor and Commission

AGENDA DATE: 2/15/2016

FROM: Jane K. Shang, City Manager

AGENDA ITEM: 11 - C

SUBJECT:

Consideration of Commissioner Soukup's appointment and the Commission's appointment of one (1) alternate member to the Economic Development Advisory Board - Joyce Raftery, City Clerk (386) 878-8502.

Strategic Goal: Internal and external communication.

LOCATION:

N/A

BACKGROUND:

Mr. Braddy, Commissioner Soukup's appointment, resigned from the Deltona Economic Development Advisory Board (DEDAB) on December 16, 2015. Commissioner Soukup will need to appoint a member for the remainder of Mr. Braddy's term to expire on May 31, 2017.

Mr. Moscarella was dismissed by DEDAB for having three (3) unexcused consecutive absences. The Commission will need to appoint an alternate member, per the Regular Commission Meeting held on May 4, 2015 where the Board/Committee By-Laws were revised to include alternate members, for the remainder of Mr. Moscarella's term to expire on May 31, 2017.

Also, the current alternate member, Christine Peacock, has expressed she would like to be appointed as a DEDAB member instead of being just an alternate member. If Ms. Peacock is appointed, the Commission would then need to appoint two (2) alternate members instead of one (1).

The City has run press releases, posted the openings on D-TV, the City's web page and on bulletin boards. To date the City has received applications from the following individuals: Charles Davidson, Cheryl Blancett and Victor Ramos.

In addition, the following two (2) applicants, Cheryl Blancett and Charles Davidson, have applied to be appointed to Planning and Zoning Board which is also on this agenda for February 15th.

Ms. Blancett would only like to be considered for the member position; she would not like to be considered for the alternate member position.

COST:

N/A

AGENDA ITEM:C.

SOURCE OF FUNDS:

N/A

ORIGINATING DEPARTMENT:

City Clerk's Department

STAFF RECOMMENDATION PRESENTED BY:

Joyce Raftery, City Clerk - That the Commission confirm Commissioner Soukup's appointment to the Deltona Economic Development Advisory Board and the Commission's appointment of an alternate member(s) to the Deltona Economic Development Advisory Board with a terms to expire on May 31, 2017.

POTENTIAL MOTION:

"I move to confirm Commissioner Soukup's appointment to the Deltona Economic Development Advisory Board and the Commission's appointment of an alternate member(s) to the Deltona Economic Development Advisory Board with a term to expire on May 31, 2017.

City of Deltona, Florida
ECONOMIC DEVELOPMENT ADVISORY BOARD

	<u>Appointed By</u>	<u>Apptd. Date</u>	<u>Term Expiration</u>
Tanya Boggs Chariperson 360 Monaco Avenue Deltona, FL 32725 (386) 574-9771 Email: tboggs@fairwinds.org	Commissioner Honaker (District 1)	05-18-2015 (Re-Apptd) 05-19-2014 (Re-Apptd) 05-20-2013	05-31-2017
Eric Alexander Vice-Chairman 1470 Brayton Circle Deltona, FL 32725 (386) 956-9366 Email: ericalexanderrealtor@gmail.com	Commissioner Nabicht (District 6)	05-18-2015 (Re-Apptd) 06-16-2014	05-31-2017
Jean Armstrong 1428 Summit Hill Drive Deltona, FL 32725 (386) 789-2100 Email: jeanarmstrong@cfl.rr.com	Vice Mayor Herzberg (District 3)	05-18-2015 (Re-Apptd) 05-19-2014	05-31-2017
Resigned December 16, 2015			
Roy L. Braddy 2958 Allegro Court Deltona, FL 32738 (386) 532-5261 Email: basshole62@yahoo.com	Commissioner Soukup (District 5)	05-18-2015 (Re-Apptd) 05-19-2014 (Re-Apptd) 05-20-2013 (Re-Apptd) 05-07-2012 03-19-2012	05-31-2017
Rick Demeter 2001 Montecito Avenue Deltona, FL 32738 (386) 532-4169 Alt: (386) 860-1252 Email: rickdemeter1@earthlink.net	Mayor Masiarczyk	05-18-2015 (Re-Apptd) 05-19-2014 (Re-Apptd) 05-20-2013 (Re-Apptd) 10-17-2011	05-31-2017
George Voll 2972 Jay Court Deltona, FL 32738 (386) 804-2594 Email: gvoll@jandjsecurity.com	Commissioner Schleicher (District 4)	05-18-2015 (Re-Apptd) 05-19-2014 (Re-Apptd) 05-20-2013	05-31-2017
Jerald "Jerry" Yaris 1320 Catalina Boulevard Deltona, FL 32725 (386) 956-1136 Alt: 386-956-2425 Email: yaris2@embarqmail.com	Commissioner Smith (District 2)	10-05-2015	05-31-2017

City of Deltona, Florida
ECONOMIC DEVELOPMENT ADVISORY BOARD

Alternates:

Christine Peacock 1190 July Circle Deltona, FL 32738 (386) 868-1196 Fax: (386) 868-1196 Email: legal@digital-studios.biz	05-18-2015	05-31-2017
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Carlos Valderrama P.O. Box 391253 Deltona, FL 32739 (321) 206-8377 Fax: (321) 206-3199 Email: carlos@valderrama.us	05-18-2015	05-31-2017
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Glenn Woodley 2945 Devonshire Street Deltona, FL 32738 (407) 322-7704 Alt Phone: (386) 218-8551 Email: glennmat1@aol.com	05-18-2015	05-31-2017
--	------------	------------

Staff Liaison:

Jerry Mayes
Business Development Administrator
Phone:(386) 878-8619
Fax: (386) 878-8851
jmayes@deltonafl.gov

From: [Jerry Mayes](#)
To: [Joyce Raftery](#); [Karissa Cook](#); [Sandi Jackson](#)
Subject: FW: Resignation
Date: Wednesday, December 16, 2015 2:25:39 PM
Attachments: [image002.png](#)
[image003.png](#)
[image005.png](#)
[image006.png](#)

Greetings All,

Please note this resignation from Roy Braddy.

We will need to advertise for the position. DEDAB Alternates do not automatically become DEDAB members. A new member will have to be appointed.

Thanks,



Jerry Mayes
Economic Development Manager
Office of the City Manager
2345 Providence Boulevard
Deltona, FL 32725
Office 386.878.8619
Facsimile 386.878.8881
jmayes@deltonafl.gov



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...not bureaucracy."**



From: Roy Braddy [mailto:BraddyR@HUDSONTOOL.COM]
Sent: Wednesday, December 16, 2015 12:44 PM
To: Jerry Mayes <JMayes@deltonafl.gov>
Subject: Resignation

Hello Jerry,

With my situation with my wife's health I am not a viable member of DEDAB. I am not able to be counted on and the team must have members that can follow through and be there enough to

contribute. I have not been able to contribute for some time and I need to get out of the way and let one of alternates who are there step in and help you and the team with making progress. I thank you for all your support and I enjoy our time together. If my situation changes you will be the first to know.

Best Regards,

Roy Braddy
Director - Supply Chain Management



Ph: (386) 676-6204

Fax: (386) 676-6212

Cell: (386) 295-7992

Toll Free: (866) 241-4448

Hudson Technologies, a [JSJ](#) Business

1327 North US Highway 1

Ormond Beach, FL 32174

braddy@hudsonstool.com

www.hudson-technologies.com



City of Deltona

2345 Providence Blvd.
Deltona, FL 32725

Minutes

Economic Development Advisory Board

Friday, August 14, 2015

3:30 PM

2nd Floor Conference Room

Regular Meeting

1. CALL TO ORDER:

The meeting was called to order at 3:30 pm by City Liaison, Jerry Mayes.

2. ROLL CALL: (Roll Call, Determination of Quorum & Pledge of Allegiance)

Present: 5 - Tanya Boggs
Vice Chair Eric Alexander
Member George Voll
Member Jean Armstrong
Rick Demeter

Excused: 2 - Member Roy Braddy
Alternate Glenn Woodley

Absent: 1 - Alternate Carlos Valderrama

Alternate member Christine Peacock was also present. Vice Chairperson Alexander arrived at 3:35.

3. APPROVAL OF MINUTES & AGENDA:

Adoption of Minutes – July 10, 2015

Motion by Member Voll and Seconded by Member Armstrong to approve the July 10, 2015 minutes as written.

For: 4 - Chair Boggs, Member Voll, Member Armstrong and Demeter

4. PRESENTATIONS/AWARDS/REPORTS:

1. Awards given to attending members, as available

2. Review by Members of OED Report (written report submitted)

Chairperson Boggs presented awards for members who could not make it last month. The first Volunteer Award was presented to Member George Voll and the second Volunteer Award was presented to Member Rick Demeter.

OED report was reviewed. Mr. Mayes stated Item #7 the Golden Choice Assisted Living Facility will be going in on North Normandy Blvd. just North of Firwood Ave. facing I-4 on the left side. #10 Honest 1 Auto Repair, the City's first franchise Auto Repair is going in next to Top Shelf Car Wash.

Mr. Mayes stated Sept. 30th will be the Grand Opening/Ribbon Cutting for Item #1 (Walmart Neighborhood Market) in the morning and Item #3 (Florida Hospital) in the afternoon. Invitations will be going out and that is 65,000 square feet under roof.

At 3:35 Vice Chairperson Eric Alexander arrived.

5. PUBLIC FORUM:

6. OLD BUSINESS:

Report from Tanya Boggs: Progress of the initial 'Deltona Business Park Study Group' meeting

Chairperson Boggs reviewed the Deltona Business Park Study Group meeting held this week. She stated the first part of the meeting was a presentation about commercial real estate in the United States and the group discussed what industries they might target locally. The second half of the meeting they split into two groups. One group focused on new development, either large or small sites, in the City of Deltona and possible uses or challenges they might have. The second group focused on redevelopment. She stated the next meeting will focus on what came out of those two groups.

Vice Chairperson Alexander asked if this is the I-4/Graves area.

Chairperson Boggs replied there is more focus on building commerce. The Activity Center is one of the properties under consideration but a number of properties in the City were discussed.

7. NEW BUSINESS:

1. Discussion of Alternate Member Eduardo Moscarella absences

2. Discussion of the "Deltona: 'Flex-Themed Accelerator', draft 8"

Mr. Mayes stated Eduardo Moscarella has missed three (3) consecutive meetings not counting this one. This would be the fourth consecutive meeting. He has not shown up to any of the meetings since he was appointed as an alternate. Per DEDAB by-laws they are required to dismiss Mr. Moscarella which will take a motion, second and a vote.

Dismissal of Member Eduardo Moscarella

Motion by Member Demeter and seconded by Member Armstrong to follow the By-laws as stated and move accordingly.

For: 5 - Chair Boggs, Vice Chair Alexander, Member Voll, Member Armstrong and Demeter

The Accelerator White Paper was discussed and reviewed by the members and Mr. Mayes. Alternate Member Peacock asked if the White Paper is confidential and Mr. Mayes replied no.

Chairperson Boggs asked if this should be the primary focus of DEDAB and asked if this is something actively being worked on by staff.

Mr. Mayes replied DEDAB had indicated they wanted to work on this as part of Workforce Development. He stated the City does not have any type of accelerator, incubator, or business park. A business park is part of basic infrastructure for a City to grow. The idea of Deltona Flexed Themed Accelerator as part of a business park development had not previously been broached. He discussed the previous idea of a mini incubator.

Mr. Mayes stated a City cannot survive on residential taxes alone. Cities must have commercial properties. He discussed the tax base and millage rates. Mr. Mayes stated Economic Development is pushing for a business park and a business park should incorporate a Flexed Theme Accelerator. The business park is being looked at with the heads of economic development organizations and he named some of the members in the group.

Alternate Member Peacock suggested Bob Getz who runs the incubator in Seminole County and stated he could contribute a lot of information.

Member Demeter asked if DEDAB should be doing this simultaneously with the Deltona Business Park project.

Vice Chairperson Alexander replied it is important to have a set plan and they should work on it simultaneously.

Chairperson Boggs stated you can see the amount of work that has already been put into this and she asked what is it that DEDAB can add to this.

Members continued to discuss promoting the accelerator, the need for a commitment on a location, the industry to determine, and the different levels of small businesses and manufacturing they can help grow.

Mr. Mayes stated the cover sheet discusses a business park with an accelerator in it.

The next three pages are the White Sheet on the Accelerator. He stated the group might want to discuss the lack of commitment.

Chairperson Boggs stated the commitment is not there because no industry has been targeted. She stated cities in the area target high tech and they are focused on what they bring into their accelerator. A narrow focus cannot be identified until the ADHOC group has identified the target industries.

Member Demeter discussed manufacturing and the accelerator. He stated a manufacturer will not commit to build without skilled workers and they will wait until there is trained staff.

Alternate Member Peacock discussed the school at Enterprise and the manufacturing training at Pine Ridge. She discussed different locations and stated we have several different things going on with no commitment.

Chairperson Boggs stated the timing is perfect and discussed the Academy at Pine Ridge, Daytona State and VMA. She stated when students graduate from these courses they will be ready, whether interning during school or a job in Volusia. She stated the location will not make a difference since people in Volusia County are used to traveling to work. A location will need to match the industry as opposed to matching the schooling.

Mr. Mayes discussed the Committee's report to the Elected Officials.

Discussion continued with the members on the focus of the Accelerator program.

Mr. Mayes discussed the surrounding Cities and stated there are 16 Cities in the County and roughly 16 business parks in the County. He stated the only major City in the entire County that has no Business Park is Deltona.

Members continued to discuss the Accelerator program, the focus of the White Paper and the City's role. Mr. Mayes stated the White Paper has not been put in front of the Elected Officials for support.

Chairperson Boggs stated DEDAB needs to decide if this is something for the group to focus on. Alternate Member Peacock asked what else is there. Chairperson Boggs replied the group had discussed the Incubator vs. Accelerator, Additional Academies and Vocational Schools, and Historic Facility.

Vice Chairperson Alexander stated this falls more under Economic Development.

Continue with Research of the Accelerator

Motion by Vice Chairperson Alexander and seconded by Member Voll for

DEDAB to focus on continuing with the research of the Accelerator to get it before the City Commission.

For: 5 - Chair Boggs, Vice Chair Alexander, Member Voll, Member Armstrong and Demeter

Discussion continued with members on the progress of the Accelerator Program, getting the City involved, and commitment from the City Commission.

Chairperson Boggs discussed the process for a recommendation by DEDAB and proposing the benefits of an Accelerator Program. She stated it will actually be City staff will be the one tasked with putting it together.

Alternate member Peacock stated somebody like Eric (Alexander) would be involved in getting developers involved.

Mr. Mayes stated they cannot solicit or recruit on behalf of DEDAB and he discussed the By-laws and roles of DEDAB members. The members agreed.

Vice Chairperson Alexander agreed the outline is very well done and discussed getting it before the Commission to look into funding and getting the City behind this as part of the total development in Deltona.

Chairperson Boggs stated DEDAB's contribution can include researching how other cities have made this successful and what challenges they have had to overcome.

Members discussed the type of guests to invite to come and speak to DEDAB.

Mr. Mayes discussed incubators in the area and suggested someone from UCF or Wayne Hardy, the Director for the Incubator at Seminole State Community College, located at the Port of Sanford.

Members agreed to Wayne Hardy as a guest speaker. They went on to discuss the Incubator vs. the Accelerator and agreed to alternate speakers as Jayne Fifer of VMA or Kelly Amy who is with Career Education of the school district.

Mr. Mayes recommended suggestions on improvements for the White Paper. He is working on draft 9 and if DEDAB has a part in drafting changes, it adds additional credence.

8. STAFF COMMENTS:

No additional comments.

9. BOARD/COMMITTEE MEMBERS COMMENTS:

Alternate Member Peacock discussed Bob teaching an entrepreneurial class and stated it might be a good source for training in an accelerator.

Mr. Mayes stated Bob has offered to put on classes if an accelerator gets going and he works for Wayne Hardy.

Discussion ensued with members and Mr. Mayes regarding businesses giving feedback and being very careful to do research only.

Alternate Member Peacock discussed the outsourcing of jobs and recommended nurturing good jobs in technical field or manufacturing.

Mr. Mayes recommended inviting Kelly Amy to speak on the Manufacturing Academy and the other Academies within Volusia County. He stated that is the the training of Workforce and that is Workforce Development.

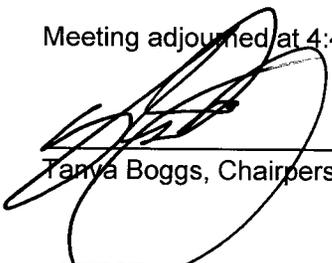
Chairperson Boggs stated Economic Development booklet passed out by Mr. Mayes contains comments about Public/Private Partnerships and would be a good read before the next meeting.

10. ADJOURNMENT:

Motion by Member Voll and seconded by Member Armstrong to adjourn the meeting.

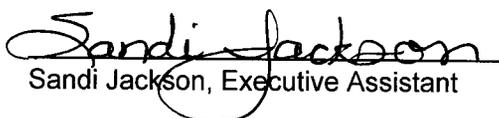
For: 5 - Chair Boggs, Vice Chair Alexander, Member Voll, Member Armstrong and Demeter

Meeting adjourned at 4:40 pm.



Tanya Boggs, Chairperson

ATTEST:



Sandi Jackson, Executive Assistant

From: Image Magic <imagery@imagemagic.ws>
Sent: Thursday, February 04, 2016 10:31 PM
To: Joyce Raftery
Subject: RE: Deltona Board/Committee Appointments/Resignations

Joyce,
I appreciate you letting the Commission know of my interest in serving on DEDAB.

Admittedly, I am a bit green about the matter of appointments. I was under the impression that I could only serve in DEDAB if there were an opening in my district. If that is the case, I live in district 5.

I have volunteered for over two years and have a professional background that includes destination marketing (countries, cities, venues, theme parks, and hospitality), environmental design (hardscapes, custom signage, streetscapes, etc.), graphic design and web design. I have personal interests in education, the environment/native plants/permaculture, aquaponics, etc. My original and current intent would be to use my background to the benefit of the community. I see so many opportunities for DEDAB members to not only raise the bar of our community but also improve in such a way that we gain PR attention for technical innovation, quality design, and environmental responsibility.

It's been such a pleasure to work with Mr. Mayes and has been exciting to see the changes and improvements that are developing. I would appreciate the opportunity to serve on DEDAB and be part of all that.

Thank you,
Christine Peacock

From: Joyce Raftery [mailto:JRaftery@deltonafl.gov]
Sent: Thursday, February 04, 2016 3:51 PM
To: imagery@imagemagic.ws
Subject: RE: Deltona Board/Committee Appointments/Resignations

Good evening:

I will forward your e-mail to the Commission so they know you're interested in becoming a member of DEDAB and not just an alternate member. There is one opening currently on DEDAB that will go before the City Commission on February 15th and I will make sure everyone is aware of your request.

Thank you,
Joyce Raftery, CMC, MMC, City Clerk

City of Deltona
2345 Providence Blvd.
Deltona, FL 32725
Phone: (386) 878-8502
Fax: (386) 878-8501

From: Image Magic [mailto:imagery@imagemagic.ws]
Sent: Thursday, February 04, 2016 3:00 PM

To: Joyce Raffery
Cc: Jerry Mayes
Subject: Deltona Board/Committee Appointments/Resignations
Importance: High

Good Afternoon Ms. Raffery,

I got your email regarding the resignations and know we have a one or two from the DEDAB advisory board that I am on with Jerry Mayes. I served as co-chair for a year on the eco-economic advisory board, but then missed a meeting due to a commitment and lost my place as co-chair and apparently missed my opportunity to be part of the DEDAB board. I am now resigned to being the extra non-voting member just in case we don't meet quorum. I would like to participate more directly. Can you advise me in regard to the steps I would need to take to become a voting DEDAB member?

Thank you,
Christine Peacock

Request From: Cheryl Blancett
Email: cjblancett@gmail.com
Source IP: 107.145.129.74

Address: 2783 Fayson Circle
City: Deltona
State: Florida
Zip: 32738
Phone: 386-878-5658
Alt Phone:
Fax:
Organization:

Checkbox Choices

Affordable Housing Advisory Committee, Economic Development Advisory Board,
Planning & Zoning Board, Ordinance Review Committee,

Number of Years as a Deltona Resident

16 - 20 Years

What Commission district do you reside in?

District 5

Are you a registered voter in Volusia County?

No

Who is your employer? (Please include number of years, address, phone number and title/position)

After almost 17 years as an In-House Investigator (20 years total as an Investigator/Compliance Supervisor) I began a career as a Community Association Manager. I currently am employed by Pinnacle Property Management, and have been with this company for approximately 3 months. 407-977-0031 and my extension is 303.

Please summarize your work experience.

Approximately 20 years as an In-house or Private Investigator and Compliance Supervisor, 3 years as a Community Association Manager, 8 years as a Certified Personal Development and Stress Management Coach.

List any volunteer service organizations, clubs, or professional societies you are a member of and give the positions or titles you have held.

Conflict Resolution Networking (Advisory Board, "See Something Say Something" Anti Bullying Committee (Creator), "One Life One Love" Alternative Lifestyle Counseling (Creator)

Have you ever served on a committee or advisory board? If so, give the details, including any positions held. Have you ever held public office? If so, give the details, including offices involved, whether elected or appointed, and the length of service.

I have never held a public office, but have served on several advisory boards for Conflict Resolution, Identifying and Confronting Bullying and Family Preservation. These were distant learning, online boards.

Describe any additional knowledge, skill, education, or experience you have, which would assist you in the duties of this Board/Committee.

I am a former Investigator and Compliance Supervisor, with 20 plus years of experience. I am a Certified Personal Development and Stress Management Coach, and a Licensed Community Association Manager. I have obtained Certifications in Conflict Resolution and have a successful Life Skills Management organization.

Explain why you want to serve on this Board/Committee, and include any potential contribution you selection would bring.

I chose the City of Deltona to raise my children, and have lived here for almost 20 years. Throughout the years I have seen the deterioration of many areas, and the mounting disinterest and concern of the residents. As a Professional Manager of many communities, I believe my care, empathy and professional experience can help to revitalize our communities and engage the residents in such a way that Deltona can thrive again.

Potential conflict of interest: Do you do business, or are you engaged in the management of any business enterprise that has a financial interest with the City of Deltona? Please give details, including the name of the enterprise, the nature of the business, and the position you hold.

No

Have you ever been convicted for violation of any federal, state, county, or municipal law, regulation, or ordinance? If so, give details. Do not include traffic violations or fines of \$100 or less that were imposed, unless it also included a jail sentence.

Never

List names, addresses, and telephone numbers of at least three persons who are in a position to comment on your qualifications and of whom inquiry may be made by the City of Deltona.

Faye Blancett (mother-in-law) 407-902-8734 / Fred Harris (Investigator) 407-739-2800 / Sheryl Johnson (Investigator) 407-595-0021

Additional Information or Comments

I aspire to become a Representative for the State of Florida and possibly a City Commissioner for the City of Deltona.

Request From: Charles Davidson
Email: chasdavidson46@gmail.com
Source IP: 155.70.39.45

Address: 2181 Gretna Dr.
City: Deltona
State: Florida
Zip: 32738
Phone: 407-280-7979
Alt Phone: 407-889-6454
Fax:
Organization: Resident

Checkbox Choices

Economic Development Advisory Board, Planning & Zoning Board, Ordinance Review Committee,

Number of Years as a Deltona Resident

2 - 5 Years

What Commission district do you reside in?

District 6

Are you a registered voter in Volusia County?

Yes

Who is your employer? (Please include number of years, address, phone number and title/position)

CenturyLink, 555 Lake Border Dr., Apopka FL 32703 407-889-6454

Facility Manager, 15 years

Please summarize your work experience.

I manage 240 buildings ranging in size from the Regional Headquarters 260,000 square feet to a Central Office of 300 square feet. I manage the day to day maintenance activities for all 240 buildings including janitorial services, HVAC, emergency power, roofs, building structure, electrical, plumbing, fire life safety, and security. I manage a staff of 6 with an annual operating budget of \$2.5 million. Part of my responsibility is working with local government entities to ensure compliance with city, county, state and federal ordinances and laws.

List any volunteer service organizations, clubs, or professional societies you are a member of and give the positions or titles you have held.

Orange City Chamber of Commerce (now defunct), Chairman and Vice Chairman

International Facility Managers Association (IFMA), Board of Directors Advisory Member.

Building Owners and Managers Institute (BOMI), member and Facility Manager Certification

Have you ever served on a committee or advisory board? If so, give the details, including any positions held. Have you ever held public office? If so, give the details, including offices involved, whether elected or appointed, and the length of service.

IFMA, Board of Directors Advisory Member.

Describe any additional knowledge, skill, education, or experience you have, which would assist you in the duties of this Board/Committee.

College Degree, BA in Business Management

Facility Manager Certification (FMA), BOMI

Numerous leadership and educational courses.

Explain why you want to serve on this Board/Committee, and include any potential contribution you selection would bring.

I would bring over 30 years of successful business and management experience to the committee.

I have experience working with local government entities as it relates to covenants and ordinances.

Potential conflict of interest: Do you do business, or are you engaged in the management of any business enterprise that has a financial interest with the City of Deltona? Please give details, including the name of the enterprise, the nature of the business, and the position you hold.

No

Have you ever been convicted for violation of any federal, state, county, or municipal law, regulation, or ordinance? If so, give details. Do not include traffic violations or fines of \$100 or less that were imposed, unless it also included a jail sentence.

No

List names, addresses, and telephone numbers of at least three persons who are in a position to comment on your qualifications and of whom inquiry may be made by the City of Deltona.

Kent Brower, 555 Lake Border Dr, Apopka, FL 32703 407-889-6974

Scott Arnold, 425 N. 3rd St., Leesburg Fl 352-3526-1444

Peter Tran, 555 Lake Border Dr., Apopka, Fl 32703 407-889-6638

Additional Information or Comments

Request From: Victor M. Ramos
Email: ramosv@cookman.edu
Source IP: 162.213.151.2

Address:
City:
State:
Zip:
Phone:
Alt Phone:
Fax:
Organization:

Checkbox Choices

Economic Development Advisory Board,

Number of Years as a Deltona Resident

6 - 10 Years

What Commission district do you reside in?

District 1

Are you a registered voter in Volusia County?

Yes

Who is your employer? (Please include number of years, address, phone number and title/position)

Bethune-Cookman University 1555 Saxon Blvd. 386-481-2138

Community Outreach Coordinator, Deltona Campus

Division of Business & Community Development

Please summarize your work experience.

List any volunteer service organizations, clubs, or professional societies you are a member of and give the positions or titles you have held.

PnZ Board, City of Deltona

Volusia Hispanic Chamber of Commerce, Board Member

The Four Townes YMCA, Board Member

Have you ever served on a committee or advisory board? If so, give the details, including any positions held. Have you ever held public office? If so, give the details, including offices involved, whether elected or appointed, and the length of service.

PnZ Board - past chair

Describe any additional knowledge, skill, education, or experience you have, which would assist you in the duties of this Board/Committee.

Explain why you want to serve on this Board/Committee, and include any potential contribution you selection would bring.

Potential conflict of interest: Do you do business, or are you engaged in the management of any business enterprise that has a financial interest with the City of Deltona? Please give details, including the name of the enterprise, the nature of the business, and the position you hold.

Have you ever been convicted for violation of any federal, state, county, or municipal law, regulation, or ordinance? If so, give details. Do not include traffic violations or fines of \$100 or less that were imposed, unless it also included a jail sentence.

no

List names, addresses, and telephone numbers of at least three persons who are in a position to comment on your qualifications and of whom inquiry may be made by the City of Deltona.

Ruben Colon 386-801-3122

Saadia Soto 407-416-9228

Natash McKnight 386-214-2876

Additional Information or Comments